

Public Notice

U.S. Army Corps
of Engineers

Baltimore District

PN 19-66

In Reply to Application Number

NAB-2019-61472(Easton Village Subdivision)

Comment Period: October 11, 2019 to November 10, 2019

THE PURPOSE OF THIS PUBLIC NOTICE IS TO INFORM INTERESTED PARTIES OF THE PROPOSED ACTIVITY AND TO SOLICIT COMMENTS. NO DECISION HAS BEEN MADE AS TO WHETHER OR NOT A PERMIT WILL BE ISSUED AT THIS TIME.)

This District has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 USC 1344),as described below:

APPLICANT:

Mike Burlbaugh
Easton Village, LLC c/o Elm Street Development
6820 Elm Street, Suite 200
McLean, Virginia 22101

WATERWAY AND LOCATION OF THE PROPOSED WORK:

The proposed project is located in wetlands adjacent to the Tred Avon River, in Easton, Talbot County, Maryland. (38.775925, -76.094786)

OVERALL PROJECT PURPOSE:

Expansion of an existing residential develop, known as Easton Village, to allow for the development of approximately 89 additional lots.

PROPOSED WORK: Construction of several roads, sidewalks, building pads and storm water management features in Easton Village development. Proposed impacts includes permanent filling of 29,133 square feet of non-tidal wetlands (21,711 square feet of forested non-tidal wetlands and 7,422 square feet of emergent non-tidal wetlands) for road crossings, sidewalk crossing, storm water management and lot fill. The breakout of impacts is as follows:

	Forested Wetlands	Emergent Wetlands	Total
Road Crossings	6,725 ft ²	764 ft ²	7,489 ft ²
Sidewalk crossings	685 ft ²	46 ft ²	731 ft ²
Stormwater management	2,613 ft ²	0	2,613 ft ²
Lot Fill	11,688 ft ²	6,612 ft ²	18,300 ft ²
Total Wetland Fill	21,711 ft ²	7,422 ft ²	29,133 ft ²

The work is proposed in accordance with the enclosed plans dated 9/24/19 Sheets 1 through 17.

LEAD FEDERAL AGENCY: The U.S. Army Corps of Engineers, as the lead federal agency, is responsible for all coordination pursuant to applicable federal authorities

APPLICANT'S PROPOSED AVOIDANCE, MINIMIZATION, AND COMPENSATORY MITIGATION:

The applicant has stated that as a result of avoidance and minimization efforts, impacts were reduced by 32,059 square feet to the current design proposal. The applicant proposes to purchase 29,133 square feet of created non-tidal wetlands at the Maple Dam Mitigation Bank to satisfy the mitigation requirements.

CORPS EVALUATION REQUIREMENTS:

This project will be evaluated pursuant to Corps Regulatory Program Regulations (33 CFR Parts 320-332). The decision whether to issue a permit will be based on an evaluation of the probable impacts, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit, which reasonable may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors, which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are conservation, economic, aesthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, and consideration of property ownership and in general, the needs and welfare of the people. The evaluation of the impact of this project will also include application of the Clean Water Act Section 404(b)(1) Guidelines promulgated by the Administrator, U.S. Environmental Protection Agency.

ENDANGERED SPECIES: A preliminary review of this application indicates that the proposed work is not likely to adversely affect Federally-listed threatened or endangered species or their critical habitat, pursuant to Section 7 of the Endangered Species Act, as amended. As the evaluation of this application continues, additional information may become available which could modify this preliminary determination.

ESSENTIAL FISH HABITAT: The Magnuson-Stevens Fishery Conservation and Management Act (MSFCMA), as amended by the Sustainable Fisheries Act of 1996 (Public Law 04-267), requires all Federal agencies to consult with the National Marine Fisheries Service (NMFS) on all actions, or proposed actions, permitted, funded, or undertaken by the agency that may adversely affect Essential Fish Habitat (EFH), including species of concern, life cycle habitat, or Habitat Areas of Particular Concern. The project site lies in or adjacent to EFH as described under MSFCMA for managed species under the MSFCMA. The Baltimore District has made a preliminary determination that the project is not within EFH Habitat. This determination may be modified if additional information indicates otherwise.

HISTORIC RESOURCES:

The lead federal agency is responsible for historic resources coordination. Pursuant to Section 106 of the National Historic Preservation Act (NHPA) of 1966 and applicable guidance, the Corps has reviewed the latest published version of the National Register of Historic Places and initially determined that no registered properties listed as eligible for inclusion, therein, are located at the site of the proposed work. The Corps has made the preliminary determination that the proposed project would have no effect on historic properties. The Corps final eligibility and effect determination will be based on coordination with the State Historic Preservation Office as appropriate and required, and with full consideration given to the proposed undertaking's potential direct and indirect effects on historic properties within the Corps' identified permit area.

TRIBAL RESOURCES: Section 106 of the NHPA also requires federal agencies to consult with federally-recognized American Indian tribes that attach religious and cultural significance to historic properties that may be affected by the agency's undertaking. The lead federal agency is responsible for tribal coordination. Corps Tribal Consultation Policy mandates an open, timely, meaningful, collaborative, and effective deliberative communication process that emphasizes trust, respect, and shared responsibility. The policy further emphasizes that, to the extent practicable and permitted by law, consultation works toward mutual consensus and begins at the earliest planning stages, before decisions are made and actions taken. The Corps final eligibility and effect determination will be based on coordination with interested tribes, in accordance with the Corps current tribal standard operating procedures as appropriate and required, and with full consideration given to the proposed undertaking's potential direct and indirect effects on tribal resources.

MODIFICATION OF CIVIL WORKS PROJECTS: 33 USC 408 (SECTION 408): All Section 408 proposals will be coordinated internally at USACE. The Section 408 decision will be issued along with the Section 404 and/or Section 10 decision. Please see the following link for more information regarding Section 408:
<https://www.nab.usace.army.mil/section408/>.

WATER QUALITY CERTIFICATION: The applicant is required to obtain a water quality certification in accordance with Section 401 of the Clean Water Act.

COASTAL ZONE MANAGEMENT PROGRAMS: Where applicable, the applicant has certified in this application that the proposed activity complies with and will be conducted in a manner consistent with the approved Coastal Zone Management (CZM) Program. By this public notice, we are requesting the State concurrence or objection to the applicant's consistency statement.

The applicant must obtain any State or local government permits which may be required.

SUBMISSION OF COMMENTS: The Corps of Engineers is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an

Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments provided will become part of the public record for this action and are subject to release to the public through the Freedom of Information Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

Written comments concerning the work described above related to the factors listed above or other pertinent factors must be received by the U.S. Army Corps of Engineers, Baltimore District within the comment period specified above through postal mail at the address below or electronic submission to the project manager email address below. Written comments should reference the Application Number: NAB-2019-61472.

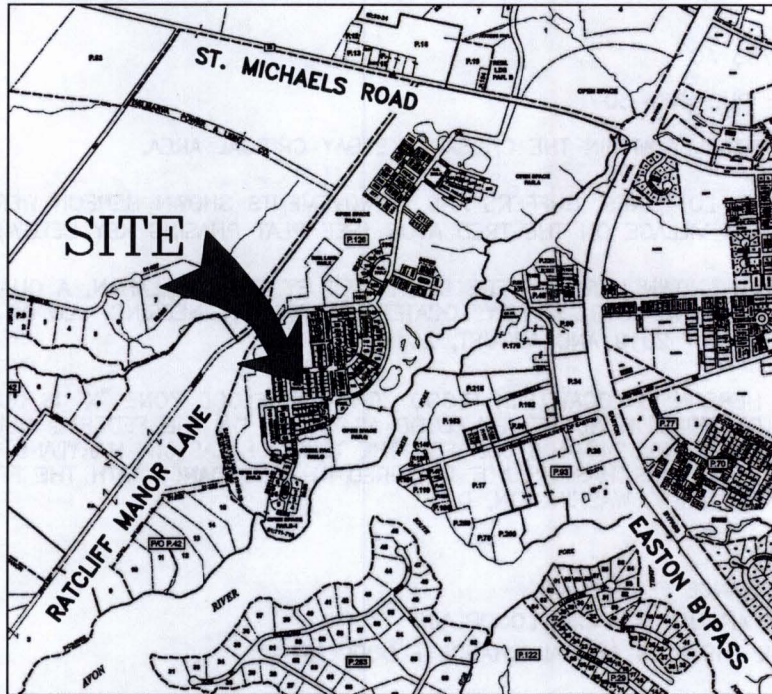
PUBLIC HEARING REQUESTS: Any person who has an interest which may be adversely affected by the issuance of this permit may request a public hearing. The request, which must be in writing, must be received within the comment period as specified above to receive consideration. Also it must clearly set forth the interest which may be adversely affected by this activity and the manner in which the interest may be adversely affected. The public hearing request may be submitted by electronic mail or mailed to the following address:

Marion Gall
(marion.gall@usace.army.mil)
U.S. Army Corps of Engineers, Baltimore District
Regulatory Branch
1631 South Atherton Street, Suite 102
State College, Pennsylvania 16801

It is requested that you communicate this information concerning the proposed work to any persons known by you to be interested, who did not receive a copy of this notice.

General information regarding the Corps' permitting process can be found on our website at <https://www.nab.usace.army.mil/Missions/Regulatory.aspx>. This public notice has been prepared in accordance with Corps implementing regulations at 33 CFR 325.3. If you have any questions concerning this specific project, or would like to request a paper copy of this public notice, please contact (Marion Gall, 814-235-1761, and marion.gall@usace.army.mil). This public notice is issued by the Chief, Regulatory Branch.

**NONTIDAL WETLAND PERMIT DRAWINGS
 PREPARED FOR
 EASTON VILLAGE
 IN THE TOWN OF EASTON
 TALBOT COUNTY, MARYLAND**



VICINITY MAP
 SCALE: 1" = 2,000'

ENGINEER

Lane Engineering, LLC
 117 BAY STREET
 EASTON, MARYLAND 21601
 (410) 822-8003

OWNER/DEVELOPER

EASTON VILLAGE, LLC
 C/O ELM STREET DEVELOPMENT
 6820 ELM STREET, SUITE 200
 MCLEAN, VIRGINIA 22101
 (703) 734-9730

PROJECT LOCATION

EASTON VILLAGE
 EASTON, MD 21601
 (VARIOUS LOTS)

ISSUE FOR:	DATE:	BY:	No.	DATE:	REVISION:	BY:
MDE SUBMITTAL	08/15/19	DSW				
MDE & USACE SUBMITTAL	09/24/19	DSW				

SHEET No. 1 OF 17 DATE: AS NOTED SCALE: AS NOTED JOB No. 180303 FILE No. 9217	TITLE SHEET ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON		Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors	
	IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126		E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095	
	Date: 08/24/2019 - 11:40am User: dswalton Project Manager: BFG Drawing Path: J:\2018\0300\180303\Civil3D-180303\Draw\Plots\NTW-PLTS-180303.dwg Sheet: ENGINEERING, XREF File(s): GBS-BASE-LETR-180303/VLD-BASE-180303/RAR-BASE-180303/VSK-BASE-180303/NTW-BASE-180303/CUP-BASE-180303/CSP-BASE-180303/HATCH-BASE-180303/CSP-BASE-NTW-040006		SHEET No. 1 OF 17	

LEGEND & ABBREVIATIONS

NTW	NONTIDAL WETLANDS	
SWM	STORMWATER MANGEMENT	
NONTIDAL WETLAND		
NONTIDAL WETLAND LIMITS		—————NTW—————
LIMITS OF DISTURBANCE		—————LOD—————
LIMITS OF DISTURBANCE/SILT FENCE		—————LOD/SF—————

PROJECT NOTES

- TOTAL SITE AREA: 204.756 AC
- ZONING CLASSIFICATION: PUD #00-30
- THE SITE IS LOCATED PARTIALLY WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THE PROPERTY BOUNDARY, LOT LINES, BUFFERS AND IMPROVEMENTS SHOWN HEREON WERE TAKEN FROM FINAL PLAT PHASES 1-14 FOR EASTON VILLAGE ON THE TRED AVON (SEE PLAT PHASING KEY BELOW).
- THE NON-TIDAL WETLANDS SHOWN HEREON WERE DELINEATED BY SEAN CALLAHAN, A QUALIFIED PROFESSIONAL WITH LANE ENGINEERING, LLC IN JUNE 2019, SURVEY LOCATED BY LANE ENGINEERING, LLC IN JULY 2019 AND VERIFIED BY AL KAMPMEYER (MDE) IN JULY 2019 AND AUGUST, 2019.
- THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X". FLOOD ZONE "X" IS OUTSIDE OF THE AREA HAVING A 1% ANNUAL CHANCE OF BEING INUNDATED BY FLOOD AS SHOWN ON THE FEDERAL INSURANCE RATE MAPS COMMUNITY NO. 240067, MAP NO. 24041C0188D FOR THE TOWN OF EASTON, MARYLAND, MAP REVISED JULY 20, 2016. THEREFORE, INSURANCE PURCHASE IS NOT REQUIRED IN ACCORDANCE WITH THE PROVISIONS OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, WASHINGTON, D.C.

FLOODPLAIN LEGEND


- A - 1% ANNUAL CHANCE FLOODPLAIN
- SHADED X - 0.2% ANNUAL CHANCE FLOODPLAIN
- X - AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

THE FLOOD DATA SHOWN HEREON IS BASED ON AVAILABLE MAPPED AND/OR DIGITAL INFORMATION AND IS DEPICTED AS DIRECTED AND REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. IT IS SUBJECT TO DATA INACCURACIES AND REGULATORY CHANGE AND SHOULD BE VERIFIED PRIOR TO FINALIZING DEVELOPMENT OR IMPROVEMENT PLANS FOR THE SUBJECT LANDS.

PLAT PHASING KEY

(SEE SHEET 4 FOR SECTION INDEX)

- SECTION 1 - LOT 244 IS EXISTING PER REVISED FINAL PLAT PHASE 4 (82/247)
LOT 234 IS EXISTING PER FINAL PLAT PHASE 7 (82/414)
- SECTION 2 - LOTS 214-218 AND 226-228 ARE EXISTING PER FINAL PLAT PHASE 7 (82/414)
- SECTION 3 - LOTS 200-210 ARE EXISTING PER FINAL PLAT PHASE 11 (84/3)
- SECTION 4 - LOTS 116 AND 162 ARE EXISTING PER FINAL PLAT PHASE 1 (81/616)
LOTS 175-178, 182, 183, 185B AND 185C ARE EXISTING PER REVISED FINAL PLAT PHASE 13 (87/7)
LOTS 179-181 AND 185D ARE PROPOSED PER 2ND REVISED FINAL PLAT PHASE 13 TO BE RECORDED
LOTS 172-174 ARE PROPOSED PER FINAL PLAT PHASE 14 TO BE RECORDED
- SECTION 5 - LOTS 53-56 ARE EXISTING PER FINAL PLAT PHASE 10 (83/219)
LOTS 42-48 ARE EXISTING PER REVISED FINAL PLAT PHASE 13 (87/7)
LOTS 49-52, 99 AND 100 ARE PROPOSED PER FINAL PLAT PHASE 14 TO BE RECORDED
- SECTION 6 - LOTS 26-28 ARE EXISTING PER REVISED FINAL PLAT PHASE 13 (87/7)

SHEET No. 2 OF 17	SITE & PROJECT NOTES	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095
	ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON	
	IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126	
FILE No. 9217 JOB No. 180303 SCALE: AS NOTED DATE: AS NOTED		

PROPERTY OWNER INFORMATION

(SEE SHEET 4 FOR SECTION INDEX)

NOTE: ALL OF THE OPEN SPACE/STORMWATER MANAGEMENT PARCELS, REMAINING LAND PARCELS AND RIGHT-OF-WAYS ARE NOW OR FORMERLY OWNED BY EASTON VILLAGE, LLC.

SECTION 1

- LOT 234: BROOKFIELD EASTON VILLAGE, LLC
3201 JERMANTOWN ROAD FAIRFAX, VA 22030
- LOT 244: RICHARD WATTIS & JANE WATTIS
28354 VILLAGE LAKE WAY EASTON, MD 21601-7223

SECTION 2

- LOT 214: RAYMOND P. CLARKE & M. LORRI WILSON-CLARKE
28261 VILLAGE LAKE WAY EASTON, MD 21601
- LOT 215: EASTON VILLAGE, LLC
- LOT 216: GARY J. CLARK & SHARON C. CLARK
28269 VILLAGE LAKE WAY EASTON, MD 21601

SECTION 3

- LOT 206: MARY C. KLEIN
28530 CONGRESSIONAL COURT EASTON, MD 21601
- LOT 207: EASTON VILLAGE, LLC
- LOT 208: EASTON VILLAGE, LLC
- LOT 209: DAVID EDWIN STROTHER & MICHELE ROSS STROTHER
28308 AYRES SQUARE EASTON, MD 21601

SECTION 4

- LOT 172: EASTON VILLAGE, LLC
- LOT 173: EASTON VILLAGE, LLC
- LOT 174: EASTON VILLAGE, LLC
- LOT 175: EASTON VILLAGE, LLC
- LOT 176: EASTON VILLAGE, LLC
- LOT 177: EASTON VILLAGE, LLC
- LOT 178: EASTON VILLAGE, LLC
- LOT 179: EASTON VILLAGE, LLC
- LOT 180: EASTON VILLAGE, LLC
- LOT 181: EASTON VILLAGE, LLC
- LOT 182: EASTON VILLAGE, LLC
- LOT 183: EASTON VILLAGE, LLC
- LOT 185B: EASTON VILLAGE, LLC
- LOT 185C: EASTON VILLAGE, LLC
- LOT 185D: EASTON VILLAGE, LLC

SECTION 5

- LOT 44: EASTON VILLAGE, LLC
- LOT 45: JOANNE H. BERMAN & PATRICK J. FORREST
5550 LEEWARD LANE TILGHMAN, MD 21671
- LOT 46: EASTON VILLAGE, LLC
- LOT 51: EASTON VILLAGE, LLC
- LOT 52: EASTON VILLAGE, LLC
- LOT 53: ANDRZEJ W. MIZIOLEK & LUCY B. MIZIOLEK
8072 EASTON VILLAGE DRIVE EASTON, MD 21601

SECTION 6

- LOT 26: EASTON VILLAGE, LLC
- LOT 27: BROOKFIELD EASTON VILLAGE, LLC
1355 BEVERLY ROAD, SUITE 240, MCLEAN, VA 22101-3649
- LOT 28: EASTON VILLAGE, LLC

FILE No. 9217
 JOB No. 180303
 SCALE: AS NOTED
 DATE: AS NOTED
 SHEET No. 3 OF 17

PROPERTY OWNER INFORMATION

**ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON**

**IN THE TOWN OF EASTON, TALBOT COUNTY
TAX MAP 34, GRID 8, PARCEL 126**

Lane Engineering, LLC

Established 1986
Civil Engineers • Land Planning • Land Surveyors



E-mail: general@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095



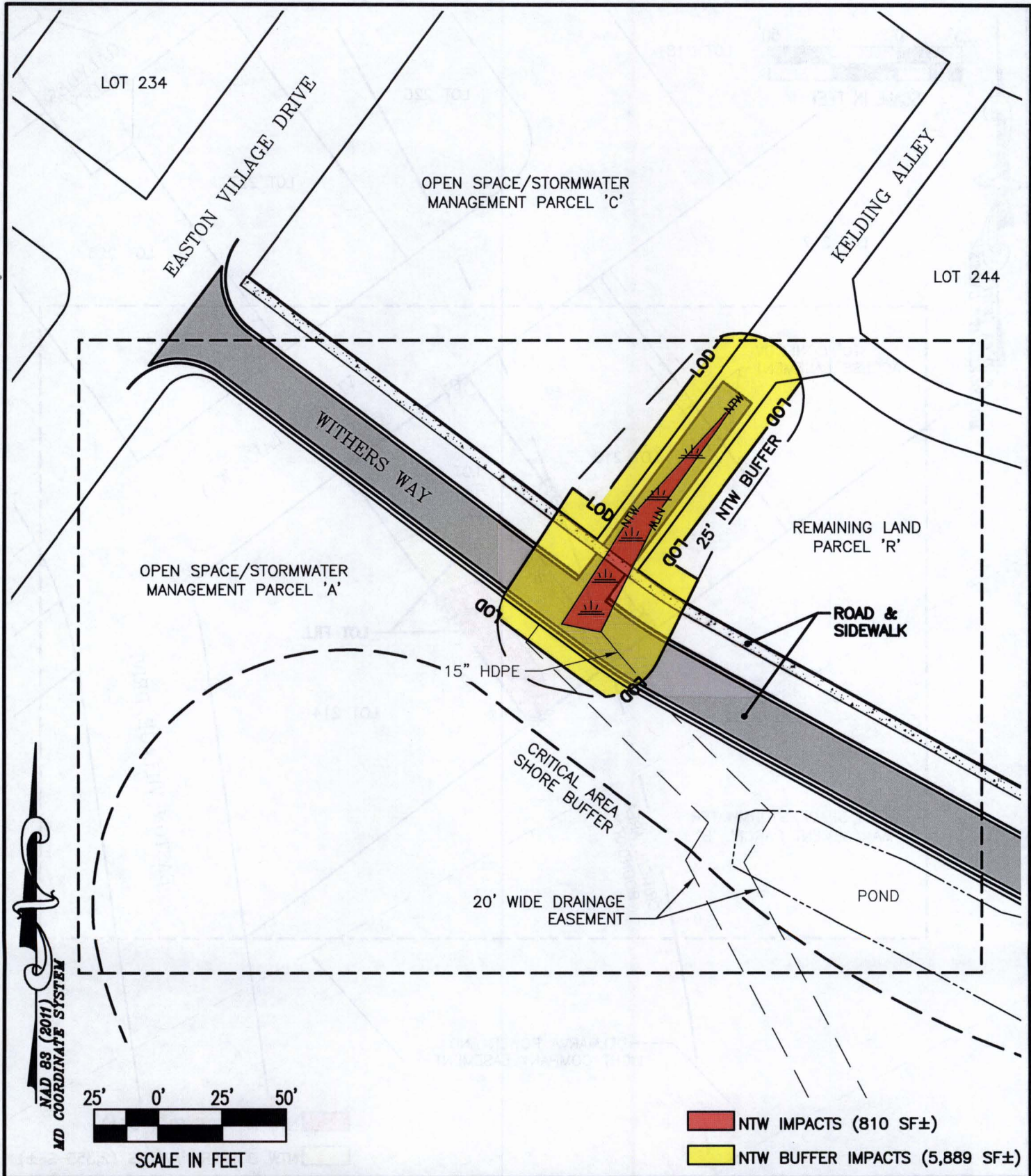
SHEET No. **4 OF 17**
 DATE: AS NOTED
 SCALE: AS NOTED
 JOB No. 180303
 FILE No. 9217

SITE OVERVIEW & SECTION INDEX
ON THE LANDS OF EASTON VILLAGE
ON THE TRED AVON
 IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

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25' 0' 25' 50'
SCALE IN FEET

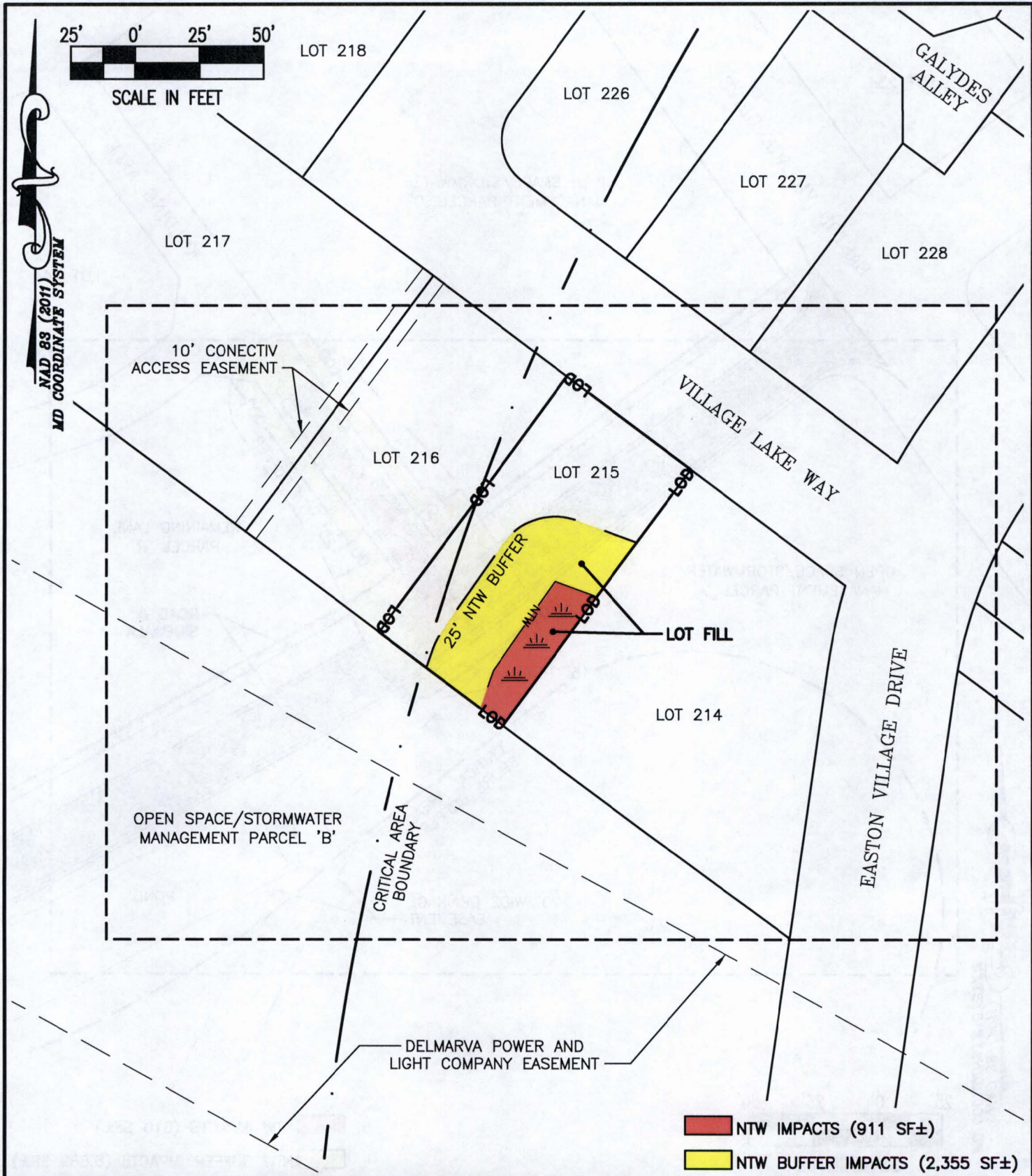
NTW IMPACTS (810 SF±)
 NTW BUFFER IMPACTS (5,889 SF±)

FILE No. 9217
 JOB No. 180303
 SCALE: AS NOTED
 DATE: AS NOTED
 SHEET No. 5 OF 17

SECTION 1 NTW IMPACTS
ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON
 IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

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SHEET No.
6 OF 17

DATE: AS NOTED


SCALE: AS NOTED

JOB No. 180303

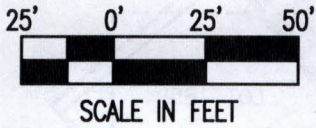
FILE No. 9217

SECTION 2 NTW IMPACTS
ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON
 IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

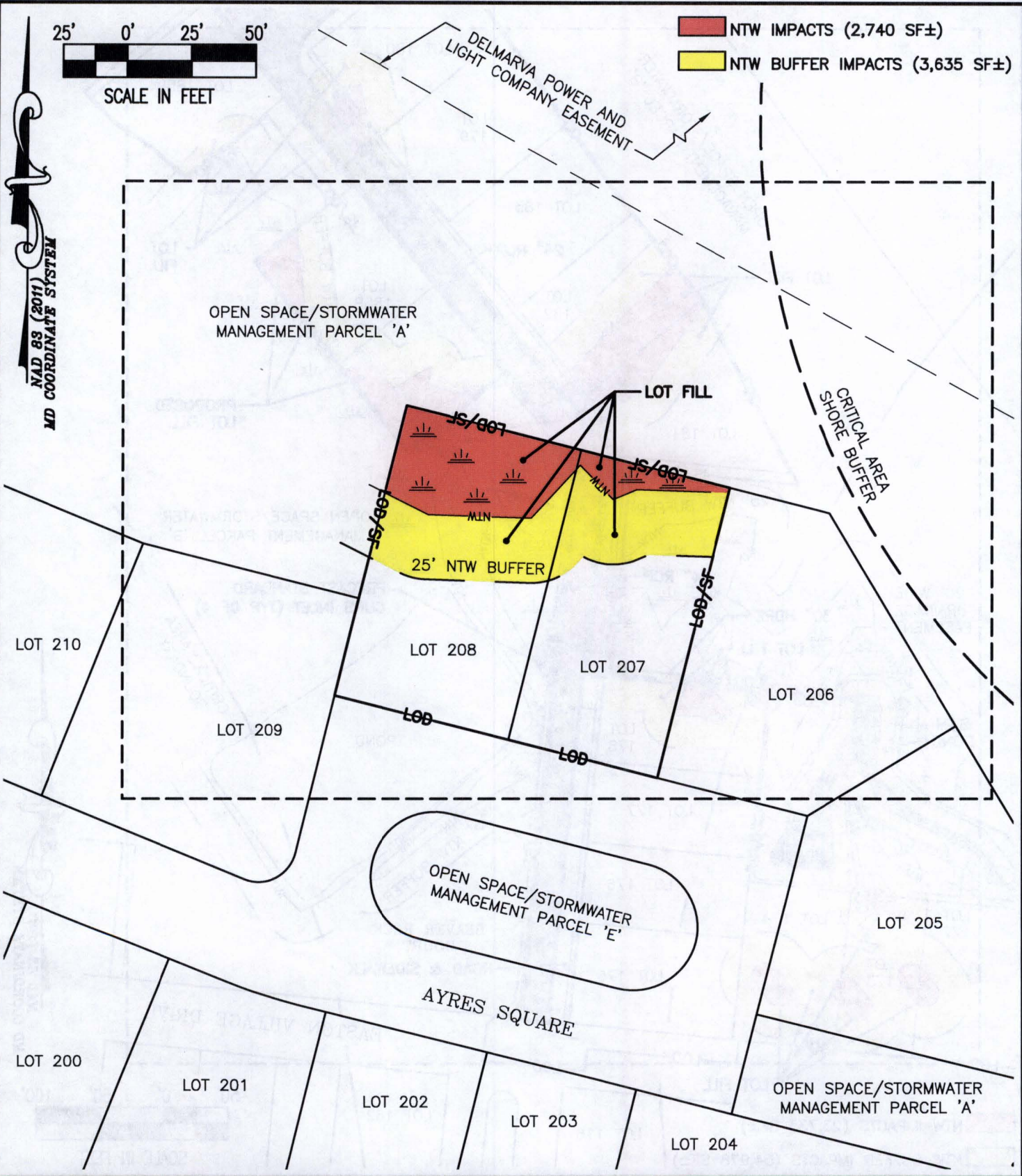
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- NTW IMPACTS (2,740 SF±)
- NTW BUFFER IMPACTS (3,635 SF±)

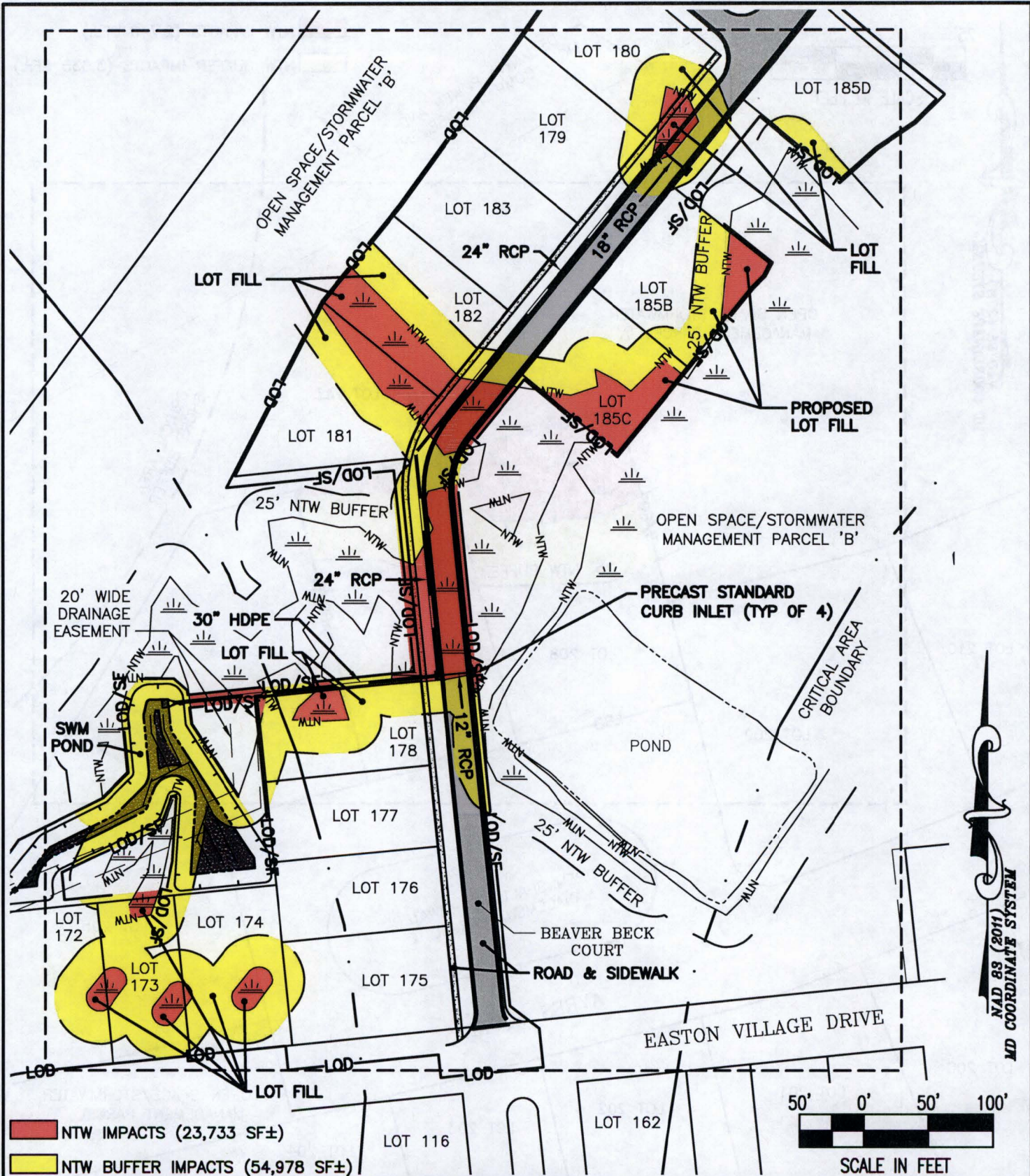


SHEET No. **7 OF 17**
 DATE: AS NOTED
 SCALE: AS NOTED
 JOB No. 180303
 FILE No. 9217

SECTION 3 NTW IMPACTS
ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON
 IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

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NTW IMPACTS (23,733 SF±)
 NTW BUFFER IMPACTS (54,978 SF±)



SHEET No. **8 OF 17**
 DATE: AS NOTED
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 JOB No. 180303
 FILE No. 9217

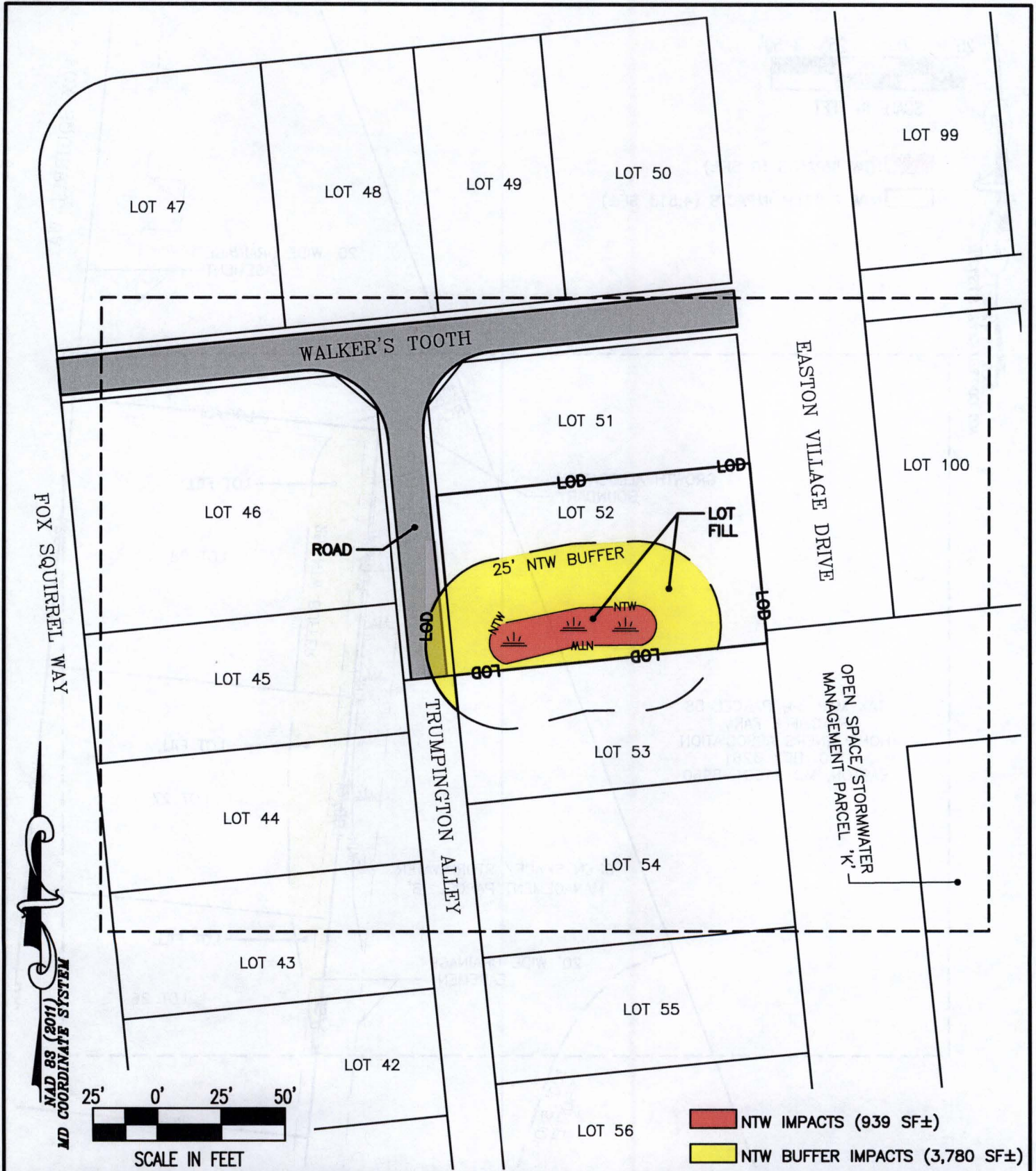
SECTION 4 NTW IMPACTS
ON THE LANDS OF
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ON THE TRED AVON
 IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

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MD 88 (2011) MD COORDINATE SYSTEM



SHEET No.
9 OF 17
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SECTION 5 NTW IMPACTS
ON THE LANDS OF
EASTON VILLAGE
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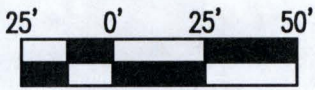
IN THE TOWN OF EASTON, TALBOT COUNTY
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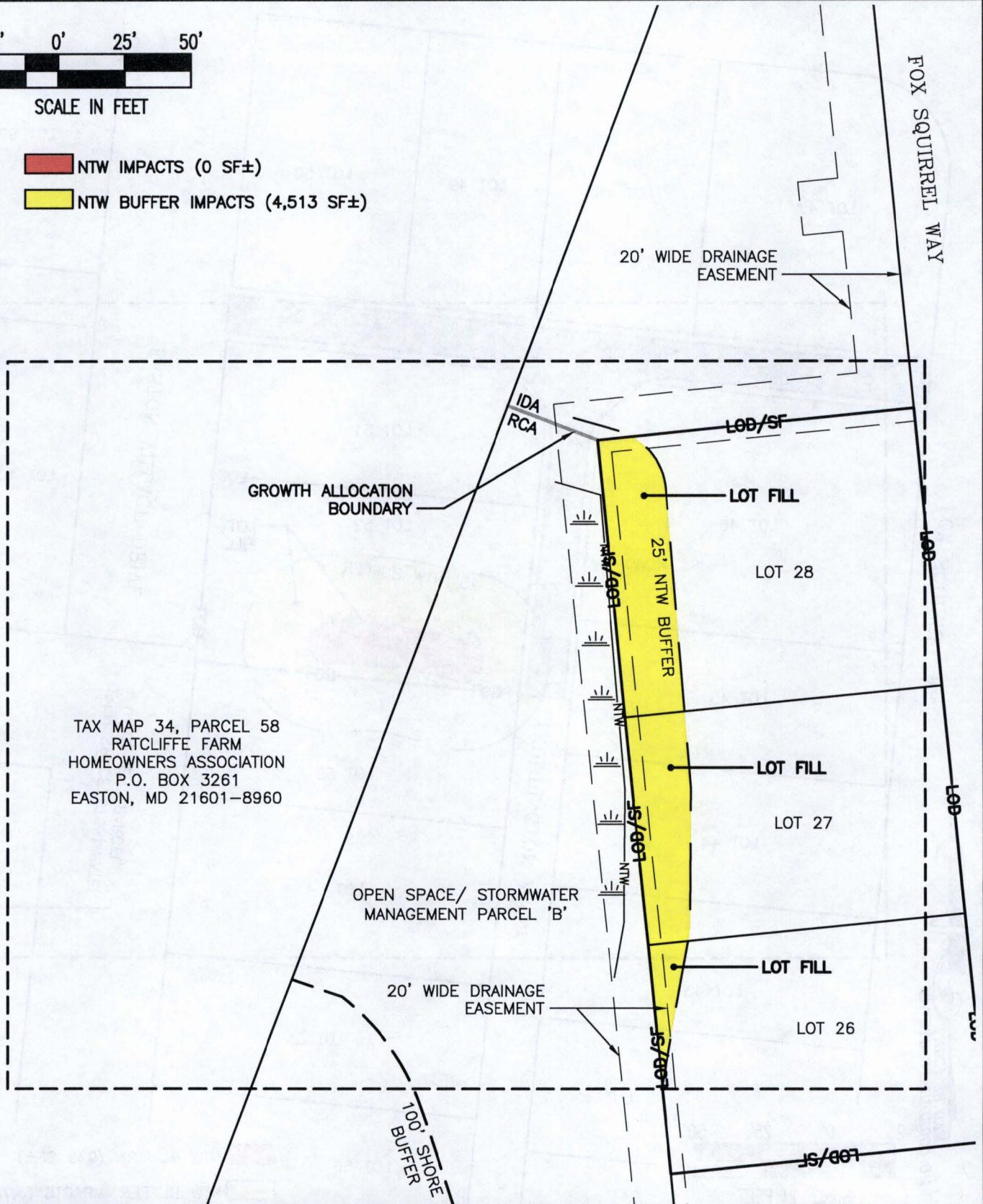
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 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095



SCALE IN FEET

- NTW IMPACTS (0 SF±)
- NTW BUFFER IMPACTS (4,513 SF±)

MD COORDINATE SYSTEM
 NAD 83 (2011)



TAX MAP 34, PARCEL 58
 RATCLIFFE FARM
 HOMEOWNERS ASSOCIATION
 P.O. BOX 3261
 EASTON, MD 21601-8960

OPEN SPACE/ STORMWATER MANAGEMENT PARCEL 'B'

FOX SQUIRREL WAY

100' SHORE BUFFER

SECTION 6 NTW IMPACTS
ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON

IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126

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SHEET No. 10 OF 17
 DATE: AS NOTED
 SCALE: AS NOTED
 JOB No. 180303
 FILE No. 9217

NONTIDAL WETLAND IMPACT SUMMARY

(SEE SHEET 4 FOR SECTION INDEX)

SECTION 1 - NTW IMPACTS (810 SF±) NTW BUFFER IMPACTS (5,889 SF±)

EMERGENT NTW IMPACTS = 810 SF±

SECTION 2 - NTW IMPACTS (911 SF±) NTW BUFFER IMPACTS (2,355 SF±)

EMERGENT NTW IMPACTS = 911 SF±

SECTION 3 - NTW IMPACTS (2,740 SF±) NTW BUFFER IMPACTS (3,635 SF±)

EMERGENT NTW IMPACTS = 2,740 SF±

SECTION 4 - NTW IMPACTS (23,733 SF±) NTW BUFFER IMPACTS (54,978 SF±)

EMERGENT NTW IMPACTS = 2,022 SF±

FORESTED NTW IMPACTS = 21,711 SF±

SECTION 5 - NTW IMPACTS (939 SF±) NTW BUFFER IMPACTS (3,780 SF±)

EMERGENT NTW IMPACTS = 939 SF±

SECTION 6 - NTW IMPACTS (0 SF±) NTW BUFFER IMPACTS (4,513 SF±)

TOTALS - NTW IMPACTS (29,133 SF±) NTW BUFFER IMPACTS (75,150 SF±)

EMERGENT NTW IMPACTS = 7,422 SF±

FORESTED NTW IMPACTS = 21,711 SF±

FILE No. 9217
JOB No. 180303
SCALE: AS NOTED
DATE: AS NOTED
SHEET No. 11 OF 17

NONTIDAL WETLAND IMPACT SUMMARY

**ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON**

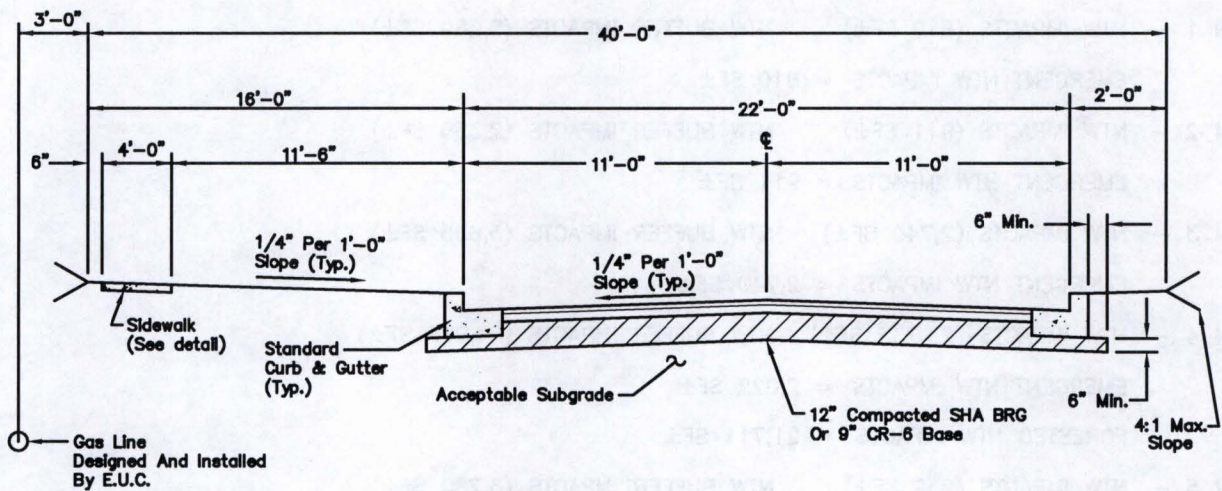
**IN THE TOWN OF EASTON, TALBOT COUNTY
TAX MAP 34, GRID 8, PARCEL 126**

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117 Bay St. Easton, MD 21601 (410) 822-8003
15 Washington St. Cambridge, MD 21613 (410) 221-0818
354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095



Notes:

1. Provide 4" Min. Topsoil, Fertilize, Seed and Mulch All Disturbed Areas On Both Sides.
2. Paving
 Bituminous Concrete
 Surface Course 1 1/2" 'SF'
 Base Course 4" 'BC' Placed In Two (2) 2" Courses.
3. Base
 SHA BRG Base Placed And Compacted in Two (2) Courses Or CR-6 Placed And Compacted In One (1) Course.
4. Subgrade
 Existing Subgrade Material Shall Be Approved Prior To Placing Base. Subgrade Shall Have A Minimum CBR Of 10.
5. Entire 40' Width Shall Be Cleared And Graded As Shown.
6. 22' Road Width Is Measured From Flowline For Standard Curb And Gutter. See Standard PW-2.00 For Standard Curb And Gutter.

BEAVER BECK COURT CROSS SECTION

NOT TO SCALE

FILE No. 9217
 JOB No. 180303
 SCALE: AS NOTED
 DATE: AS NOTED
 SHEET No. 12 OF 17

DETAILS

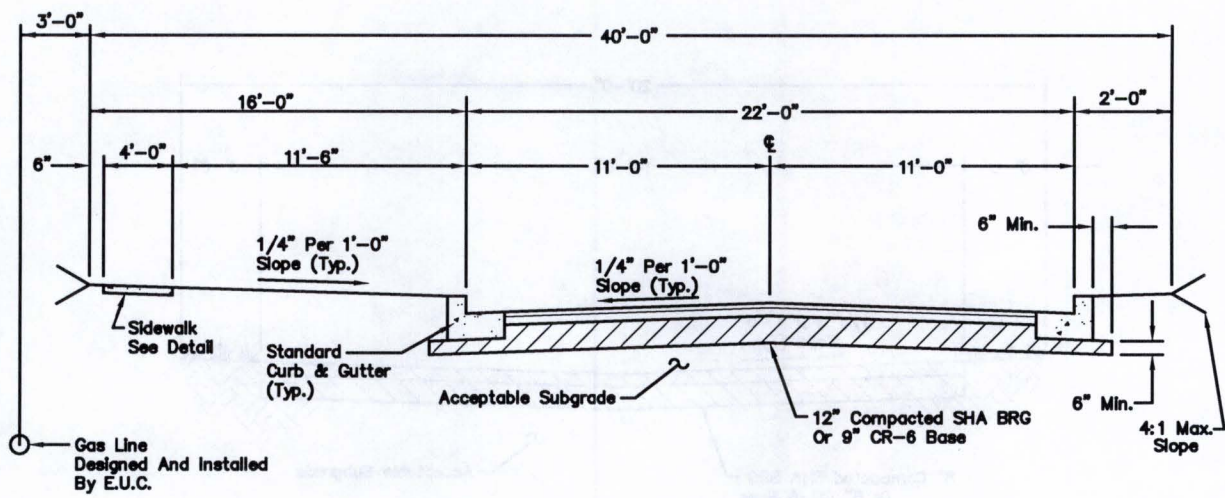
**ON THE LANDS OF
 EASTON VILLAGE
 ON THE TRED AVON**

**IN THE TOWN OF EASTON, TALBOT COUNTY
 TAX MAP 34, GRID 8, PARCEL 126**

Lane Engineering, LLC

Established 1986
 Civil Engineers • Land Planning • Land Surveyors

E-mail: general@leinc.com
 117 Bay St. Easton, MD 21601 (410) 822-8003
 15 Washington St. Cambridge, MD 21613 (410) 221-0818
 354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095



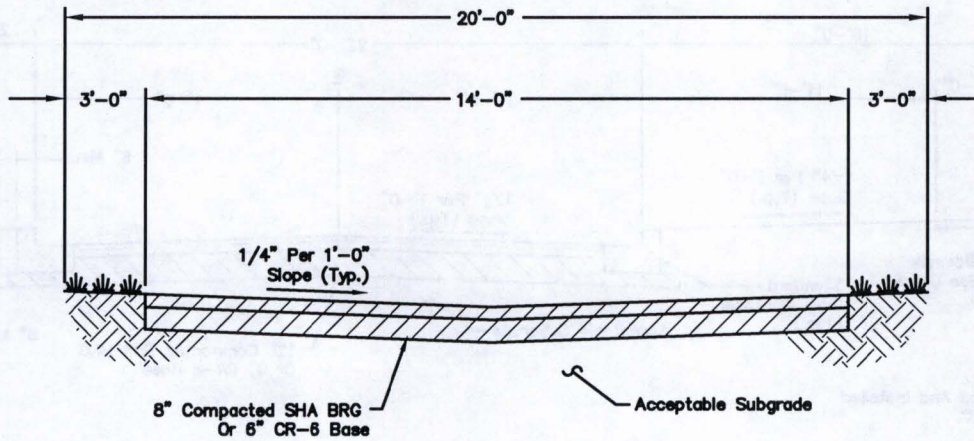
Notes:

1. Provide 4" Min. Topsoil, Fertilize, Seed and Mulch All Disturbed Areas On Both Sides.
2. Paving
 Bituminous Concrete
 Surface Course 1 1/2" 'SF'
 Base Course 4" 'BC' Placed In Two (2) 2" Courses.
3. Base
 SHA BRG Base Placed And Compacted in Two (2) Courses Or CR-6
 Placed And Compacted In One (1) Course.
4. Subgrade
 Existing Subgrade Material Shall Be Approved Prior
 To Placing Base. Subgrade Shall Have A Minimum CBR Of 10.
5. Entire 40' Width Shall Be Cleared And Graded As Shown.
6. 22' Road Width Is Measured From Flowline For Standard Curb
 And Gutter. See Standard PW-2.00 For Standard Curb And Gutter.

WITHERS WAY CROSS SECTION

NOT TO SCALE

SHEET No. 13 OF 17	DETAILS ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
DATE: AS NOTED SCALE: AS NOTED JOB No. 180303 FILE No. 9217	Date: 09/24/2019 - 11:40am User: dswlton Project Manager: BFG Drawing Path: J:\2018\0300\180303\CMI3D-180303\Dwg\Plots\NTW-PLTS-180303.dwg Sheet 13 OF 17 XREF File(s): GBS-BASE-LETR-180303/VLD-BASE-180303/RAR-BASE-180303/VSK-BASE-180303/NTW-BASE-180303/CUP-BASE-180303/CSP-BASE-180303/HATCH-BASE-180303/CSP-BASE-NTW-040006a	




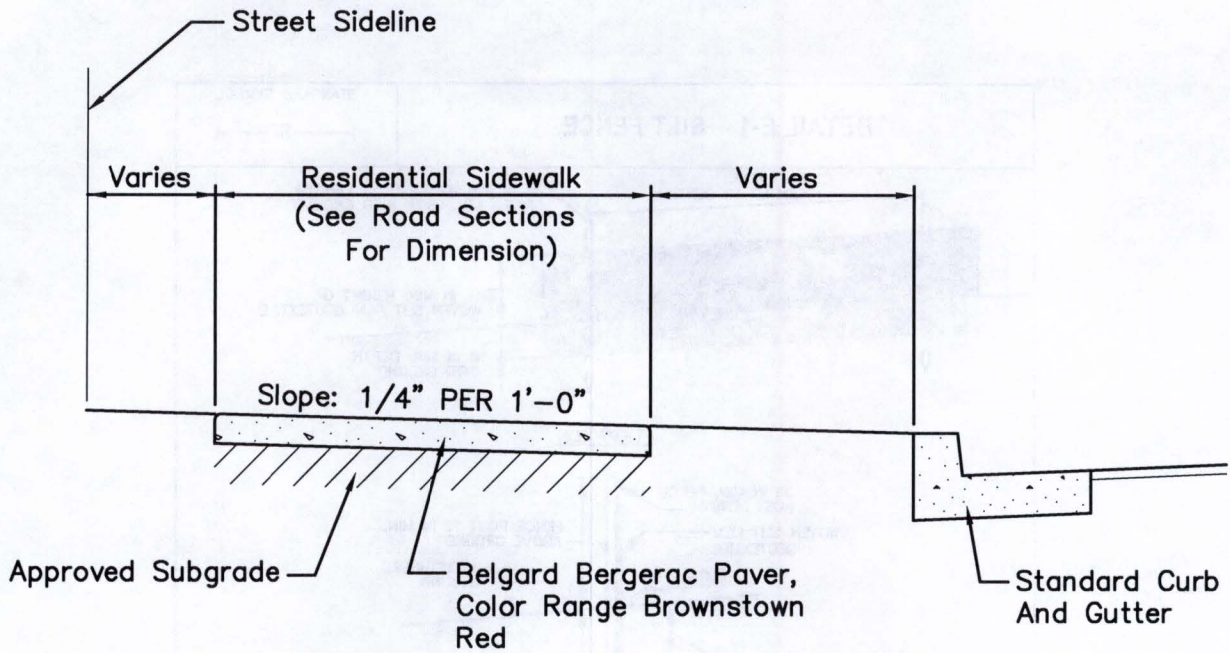
Notes:

1. Provide 4" Min. Topsoil, Fertilize, Seed and Mulch All Disturbed Areas On Both Sides.
2. Paving
Bituminous Concrete
Surface Course 1" 'SF'
Base Course 2" 'BC'
3. Subgrade
Existing Subgrade Material Shall Be Approved Prior To Placing Base. Subgrade Shall Have A Minimum CBR Of 10.
4. Entire 20' Width Shall Be Cleared And Graded As Shown.

TRUMPINGTON ALLEY CROSS SECTION


NOT TO SCALE

<p>DATE: AS NOTED</p> <p>SCALE: AS NOTED</p> <p>JOB No. 180303</p> <p>FILE No. 9217</p>	<p>SHEET No.</p> <p>14 OF 17</p>	<p>DETAILS</p> <p>ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON</p> <p>IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126</p>	<p>Lane Engineering, LLC</p> <p>Established 1986 Civil Engineers • Land Planning • Land Surveyors</p>  <p>E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095</p>
<p>Date: 09/24/2019 - 11:40am User: dwtton Project Manager: BFG Drawing Path: J:\2018\0300\180303\CIVIL3D-180303\Dwg\Plots\NTW-PLTS-180303.dwg Sheet: ENGINEERING, XREF File(s): GBS-BASE-LETR-180303/MLD-BASE-180303/RAR-BASE-180303/VSK-BASE-180303/NTW-BASE-180303/CUP-BASE-180303/CSP-BASE-180303/HATCH-BASE-180303/CSP-BASE-NTW-04006.dwg</p>			



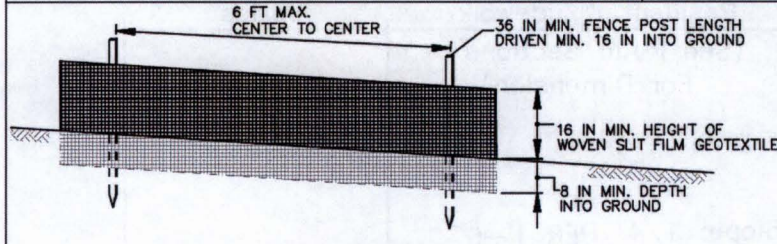
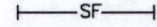
SIDEWALK DETAIL

NOT TO SCALE

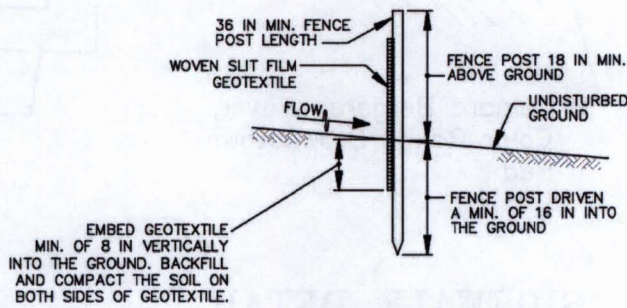
SHEET No. 15 OF 17	DETAILS ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
DATE: AS NOTED SCALE: AS NOTED JOB No. 180303 FILE No. 9217	Date: 09/24/2019 - 11:40am User: dwalton Project Manager: BFG Drawing Path: J:\2018\0300\180303\Civil3D-180303\Dwg\Plots\NTW-PLTS-180303.dwg Sheet 15 OF 17 XREF File(s): GBS-BASE-LETR-180303/MLD-BASE-180303/RAR-BASE-180303/VSK-BASE-180303/NTW-BASE-180303/CUP-BASE-180303/CSP-BASE-180303/HATCH-BASE-180303/CSP-BASE-NTW-040006.dwg	

DETAIL E-1 SILT FENCE

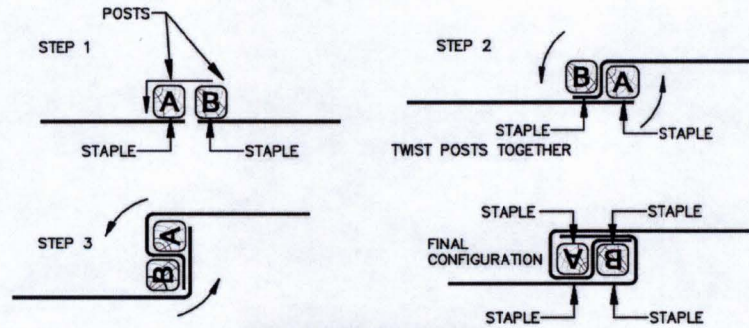
STANDARD SYMBOL



ELEVATION



CROSS SECTION



JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW)

1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

E.2

SHEET No.
16 OF 17
 DATE: AS NOTED
 SCALE: AS NOTED
 JOB No. 180303
 FILE No. 9217

DETAILS

**ON THE LANDS OF
EASTON VILLAGE
ON THE TRED AVON**

**IN THE TOWN OF EASTON, TALBOT COUNTY
TAX MAP 34, GRID 8, PARCEL 126**

Lane Engineering, LLC


Established 1986
Civil Engineers • Land Planning • Land Surveyors



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DETAIL E-1 SILT FENCE	STANDARD SYMBOL ——SF——
<p><u>CONSTRUCTION SPECIFICATIONS</u></p> <ol style="list-style-type: none"> USE WOOD POSTS $1\frac{3}{4} \times 1\frac{3}{4} \pm \frac{1}{8}$ INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE. 	
2 OF 2	
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011
MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	

E.3

SHEET No. 17 OF 17	DATE: AS NOTED	SCALE: AS NOTED	JOB No. 180303	FILE No. 9217	DETAILS ON THE LANDS OF EASTON VILLAGE ON THE TRED AVON IN THE TOWN OF EASTON, TALBOT COUNTY TAX MAP 34, GRID 8, PARCEL 126	Lane Engineering, LLC Established 1986 Civil Engineers • Land Planning • Land Surveyors  E-mail: general@leinc.com 117 Bay St. Easton, MD 21601 (410) 822-8003 15 Washington St. Cambridge, MD 21613 (410) 221-0818 354 Pennsylvania Ave. Centreville, MD 21617 (410) 758-2095
Date: 09/24/2019 - 11:40am User: dwalton Project Manager: BFG Drawing Path: J:\2018\0300\180303\Civil3D-180303\Draw\Plots\NTW-PLTS-180303.dwg Sheet 17 OF 17 XREF File(s): GBS-BASE-LETR-180303/VLD-BASE-180303/RAR-BASE-180303/VSK-BASE-180303/NTW-BASE-180303/CUP-BASE-180303/CSP-BASE-180303/HATCH-BASE-180303/CSP-BASE-NTW-040006a						