

U.S. Army Corps
of Engineers
Baltimore District

Public Notice

In Reply to Application Number
CENAB-OPR-P-2016-00168-P24 (Lime Spring Run)

PN-17-16

Comment Period: April 3, 2017 to May 3, 2017

THE PURPOSE OF THIS PUBLIC NOTICE IS TO SOLICIT COMMENTS FROM THE PUBLIC REGARDING THE WORK DESCRIBED BELOW. NO DECISION HAS BEEN MADE AS TO WHETHER OR NOT A PERMIT WILL BE ISSUED AT THIS TIME.

This District has received an application for a Department of the Army permit pursuant to **Section 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act (33 U.S.C. 1344)** as described below:

APPLICANT:

Mr. Eric Scott
Oak Tree Development Group
2450 Marietta Ave
Lancaster, Pennsylvania 17601

WATERWAY AND LOCATION OF THE PROPOSED WORK:

Brubaker Run located in East Hempfield Township, Lancaster County, Pennsylvania, near the east side of Running Pump Road, south of Noll Drive and to the west of Rohrerstown Road.

PURPOSE AND PROPOSED WORK:

Oak Tree Development Group is proposing the development of a 98 acre tract of land to be known as Lime Spring Square. The proposed development will contain a mixture of industrial, commercial, retail, office space and a community park. The site currently consists of agricultural fields, maintained lawns, and partially forested riparian floodplains along Brubaker Run. The project is located on the Lime Spring Farm in East Hempfield Township, Lancaster County, Pennsylvania.

Floodplain restoration is proposed for an approximately 4,444 linear foot section of Brubaker Run, a tributary to the Little Conestoga Creek. Oak Tree Development proposes to remove approximately 8 acres of legacy sediment and restore the floodplain to conditions that resemble as close of an approximation of the pre-settlement conditions of Brubaker Run as is reasonably possible. The floodplain restoration project will address stormwater best management practices and serve to manage the additional stormwater runoff volume and peak rates associated with the proposed development and improve water quality of site runoff. Additional nutrient and sediment load reductions beyond those required for the Lime Spring Square Land Development Project will be applied to East Hempfield Township's MS4 Pollutant Reduction Plan (PRP).

Impacts Summary

- A. The discharge of dredged and/or fill material into, and/or grading of, approximately 4,444 linear feet of stream channel associated with the stream and floodplain restoration of Brubaker Run

and adjoining tributaries. The work includes approximately 3,772 linear feet of permanent stream impact and 672 linear feet of temporary stream impact, 0.019 acre of permanent wetland impact and 0.049 acre of temporary wetland impact.

- B. The placement of approximately 1,400 linear feet of log sills at multiple locations within the floodplain restoration, all placed subsurface for grade control.
- C. The placement of a total of approximately 750 linear feet of toe wood to be installed at multiple locations within the floodplain restoration, all placed in the proposed stream banks for bank protection and habitat enhancement.
- D. Disturbance 1 – Running Pump Road Culvert Replacement – replacement of the existing culverts on Running Pump Road in Brubaker Run with a 40 linear foot (20' span) bottomless Eco-Span Arch with endwalls and 10-linear feet of R-7 riprap transitions upstream and downstream of the culvert replacement.
- E. Disturbances 2, 3, and 5 - three separate disturbances associated with the installation of 36-inch stormwater outfalls.
- F. Disturbance 4 – Sanitary Sewer LSS-4 to MH-SR11 – the placement of 14 linear feet of 8” sanitary sewer line in concrete encasement under Brubaker Run.
- G. Disturbance 6 - Sanitary Sewer Lateral A – the placement of 15 linear feet of 6” sanitary sewer line.
- H. Disturbance 7 – Water Main – the placement of 14 linear feet of 8” water line under Brubaker Run.
- I. Disturbance 8 – Sanitary Sewer LSS-1 to LSS-2 – the placement of 17 linear feet of 8” sanitary sewer line in concrete encasement under Brubaker Run.
- J. Disturbance 9 – Sanitary Sewer Lateral B – the placement of 17 linear feet of 8” sanitary sewer line in concrete encasement under Brubaker Run.
- K. Temporary Stream Crossing Station 4+25 – the placement of a temporary stream crossing to facilitate construction access during the installation of the floodplain restoration.
- L. Temporary Stream Crossing Station 12+00 – the placement of a temporary stream crossing to facilitate construction access during the installation of the floodplain restoration.
- M. Temporary Stream Crossing Station 18+25 – the placement of a temporary stream crossing to facilitate construction access during the installation of the floodplain restoration.

Mitigation

The applicant is proposing compensatory mitigation to replace the functions and services being lost as a result of the 0.019 acre of permanent PEM wetland impact. The mitigation area is 0.077 acre in size, and consists of the establishment of PEM wetlands. Construction of the floodplain restoration project is anticipated to result in an overall net gain of 8.420 acres of PEM wetlands on site. The newly created stream channel will replace the functions and services of the existing stream.

All proposed work is proposed be completed in accordance with the enclosed plan(s). If you have any questions concerning this matter, please contact Ms. Brittany Seguin, (814) 235-1765.

The decision whether to issue a permit will be based on an evaluation of the probable impacts, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit, which reasonable may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors, which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are conservation, economic, aesthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, and consideration of property ownership and in general, the needs and welfare of the people.

The Corps of Engineers is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments provided will become part of the public record for this action. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity. Written comments concerning the work described above related to the factors listed above or other pertinent factors must be received by the District Engineer, U.S. Army Corps of Engineers, Baltimore District, Ms. Brittany Seguin, 1601 South Atherton Street, Suite 201, State College, Pennsylvania 16801, within the comment period specified above.

ESSENTIAL FISH HABITAT: The Magnuson-Stevens Fishery Conservation and Management Act (MSFCMA), as amended by the Sustainable Fisheries Act of 1996 (Public Law 04-267), requires all Federal agencies to consult with the National Marine Fisheries Service (NMFS) on all actions, or proposed actions, permitted, funded, or undertaken by the agency that may adversely effect Essential Fish Habitat (EFH). The Corps has determined this project will not affect any EFH.

WATER QUALITY CERTIFICATION: The applicant is required to obtain a water quality certification in accordance with Section 401 of the Clean Water Act from the Pennsylvania Department of Environmental Protection. The Section 401 certifying agency has a statutory limit of one year from the date of this public notice to make its decision.

COASTAL ZONE MANAGEMENT PROGRAMS: Where applicable, the applicant has certified in this application that the proposed activity complies with and will be conducted in a manner consistent with the approved Coastal Zone Management (CZM) Program. By this public notice, we are requesting the State concurrence or objection to the applicant's consistency statement. It should be noted that the CZM Program has a statutory limit of 6 months to make its consistency determination.

The applicant must obtain any State or local government permits which may be required.

A preliminary review of this application indicates that the proposed work will not affect Federal listed threatened or endangered species or their critical habitat, pursuant to Section 7 of the Endangered Species Act, as amended. As the evaluation of this application continues, additional information may become available which could modify this preliminary determination.

Review of the latest published version of the National Register of Historic Places indicates that no registered properties listed as eligible for inclusion, therein, are located at the site of the proposed work. Currently unknown archeological, scientific, prehistoric, or historical data may be lost or destroyed by the work to be accomplished under the request permit.

The evaluation of the impact of this project on the public interest will include application of the guidelines promulgated by the Administrator, U.S. Environmental Protection Agency, under authority of Section 404 of the Clean Water Act.

Any person who has an interest which may be adversely affected by the issuance of this permit may request a public hearing. The request, which must be in writing, must be received by the District Engineer, U.S. Army Corps of Engineers, Baltimore District, Ms. Brittany Seguin, 1601 South Atherton Street, Suite 201, State College, Pennsylvania 16801, within the comment period as specified above to receive consideration. Also it must clearly set forth the interest which may be adversely affected by this activity and the manner in which the interest may be adversely affected.

It is requested that you communicate this information concerning the proposed work to any persons know by you to be interested and not being known to this office, who did not receive a copy of this notice.

Wade B. Chandler
Chief, Pennsylvania Section
Regulatory Branch

BRUBAKER RUN FLOODPLAIN RESTORATION PLAN SET

EAST HEMPFIELD TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

TABLE OF CONTENTS

- 1 COVER PAGE
- 2 KEY MAP
- 3 E&S AND GRADING PLAN
- 4 E&S AND GRADING PLAN
- 5 E&S AND GRADING PLAN
- 6 E&S AND GRADING PLAN
- 7 EXISTING LASA SEWER PROFILE
- 8 EXISTING THALWEG PROFILE
- 9 VALLEY PROFILE
- 10 PROPOSED THALWEG PROFILE
- 11 CROSS SECTIONS
- 12 DETAILS
- 13 E&S DETAILS
- 14 E&S NOTES
- 15 PLANTING PLAN



SITE MAP

1" = 600'

IN COOPERATION WITH:



EAST HEMPFIELD TOWNSHIP
1700 NISSLEY ROAD
LANCASTER, PA 17638
PHONE: (717) 858-3103



RGS ASSOCIATES
35 W. JAMES ST #101
LANCASTER, PA 17603
PHONE: (717) 715-1396
JOB #2014B44-005

CLIENT ADDRESS:



OAK TREE DEVELOPMENT GROUP
2450 MARIETTA AVE.
LANCASTER, PA 17601
PHONE: (717) 299-9172

PREPARED BY:



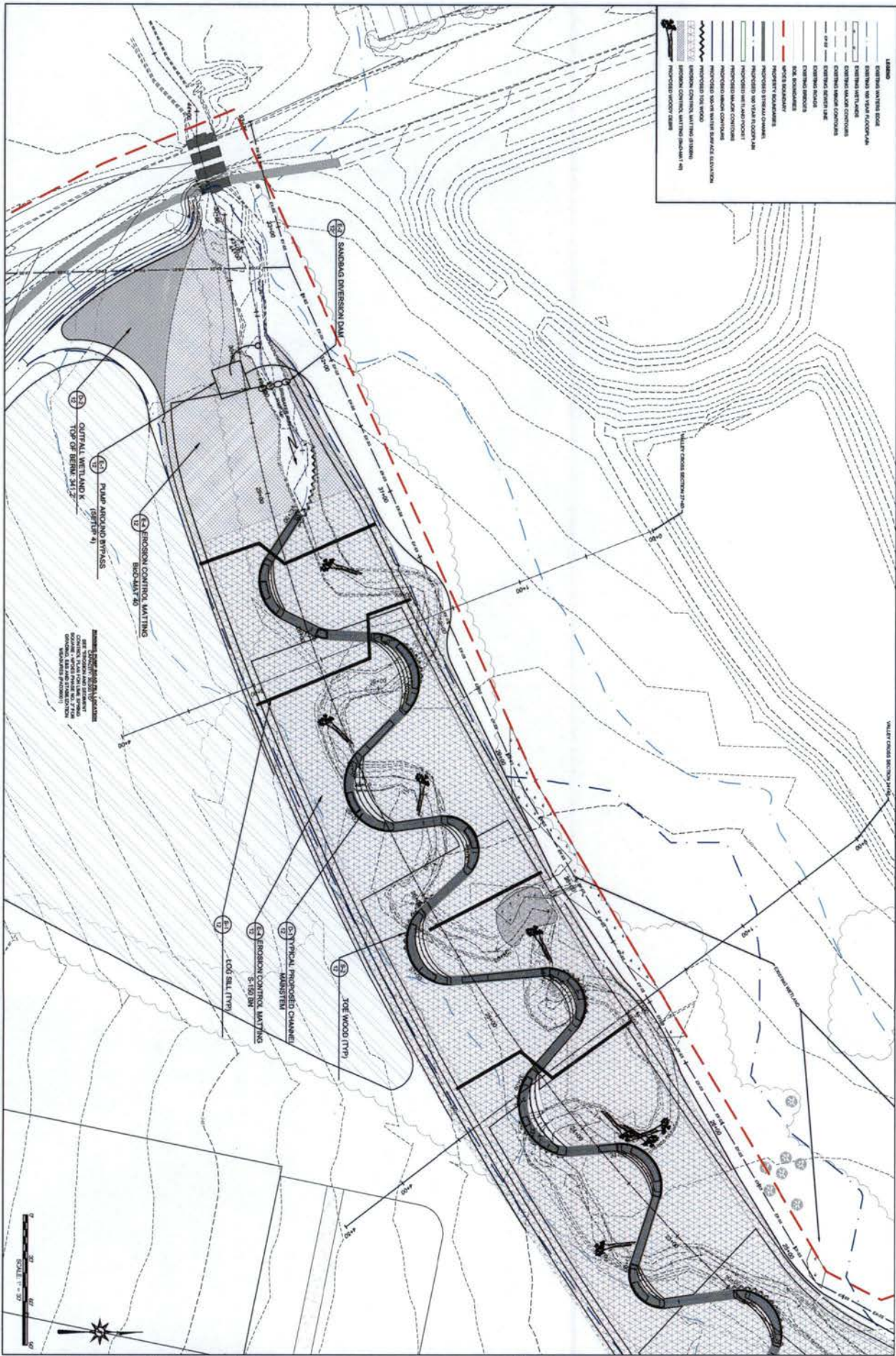
717-627-4440
fax: 717-627-4660
landstudies.com
landstudies.com
315 North Street | Lititz, PA 17543

LOCATION MAP

1" = 2,000'



PROJECT: BRUBAKER RUN FLOODPLAIN RESTORATION	
PROJECT #: D-573.2-15	PLAN DATE: 8/28/2016
COUNTY: LANCASTER	REVISION: 1/12/17



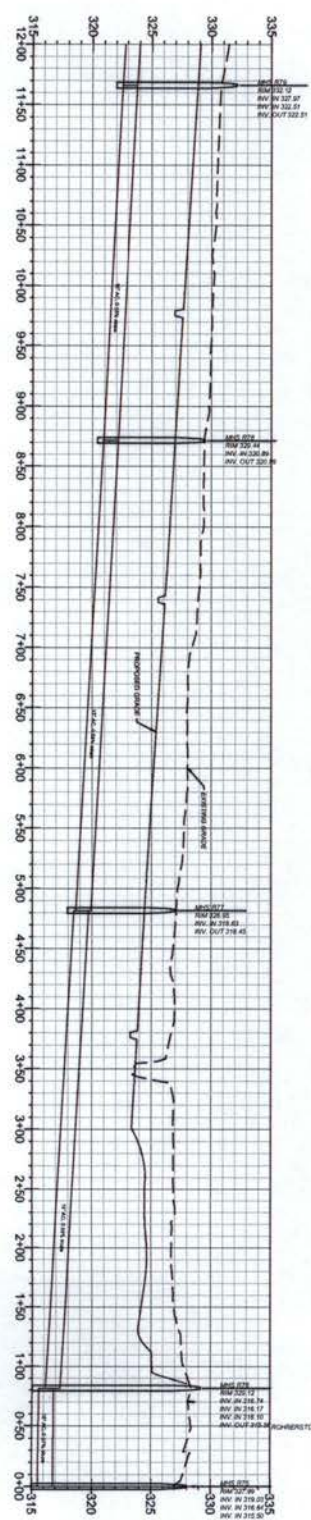
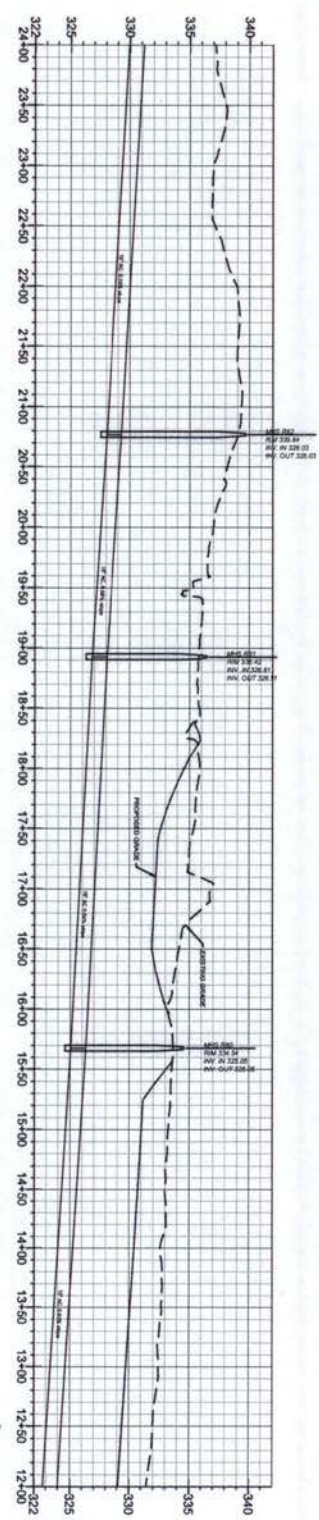
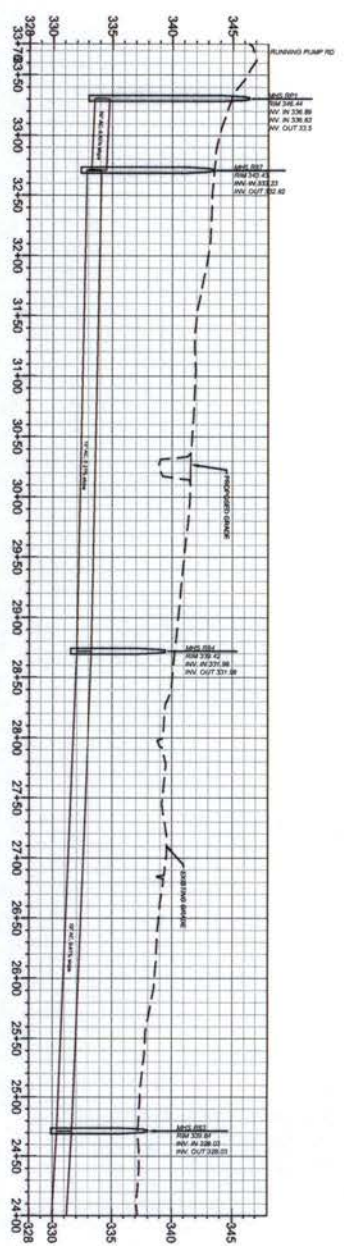
3
OF 15

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

SHEET TITLE:
E&S AND GRADING PLAN
BRUBAKER RUN FLOODPLAIN RESTORATION
PLAN SET
 EAST HEMPFIELD TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION
 OAK TREE DEVELOPMENT GROUP
 2450 MARIETTA AVE.
 LANCASTER, PA 17601

Land Studies
 717-627-4440
 fax: 717-627-4660
 landstudies.com
 land@landstudies.com
 315 North Street | Lititz, PA 17543



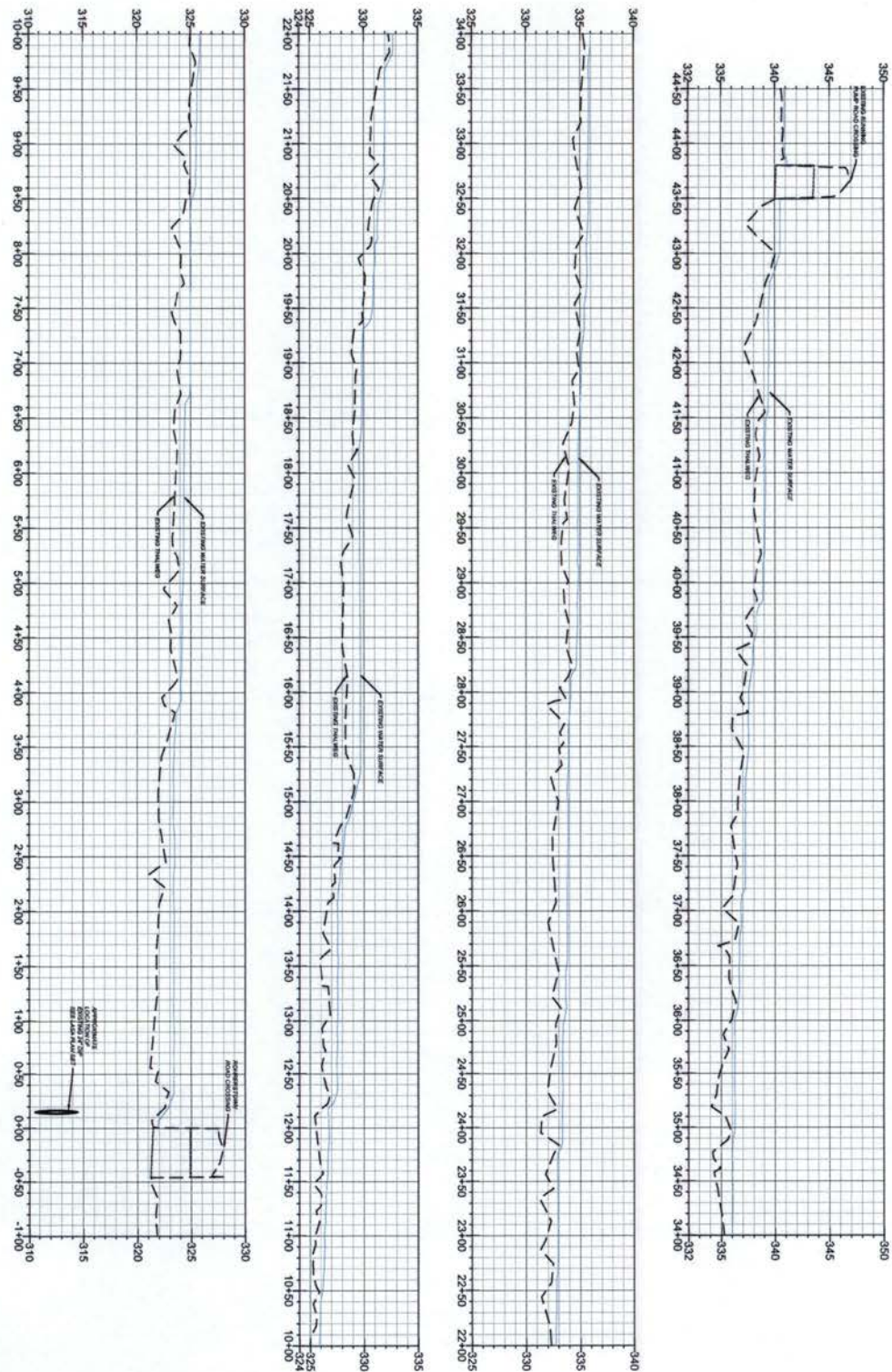
7
OF 15

NO.	DATE	BY	DESCRIPTION
1	06/23/15
2
3
4
5
6
7
8
9
10

SHEET TITLE: EXISTING LASA SEWER PROFILE
BRUBAKER RUN FLOODPLAIN RESTORATION
PLAN SET
 EAST HEMPFIELD TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION
 OAK TREE DEVELOPMENT GROUP
 1650 MARKET AVENUE
 LANCASTER, PA 17601

Land Studies
 717-627-4440
 fax: 717-627-4660
 landstudies.com
 land@landstudies.com
 315 North Street | Lititz, PA 17543



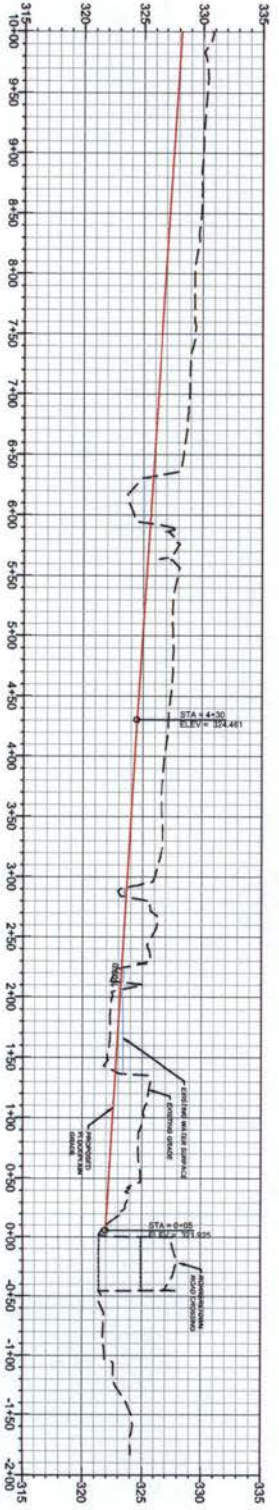
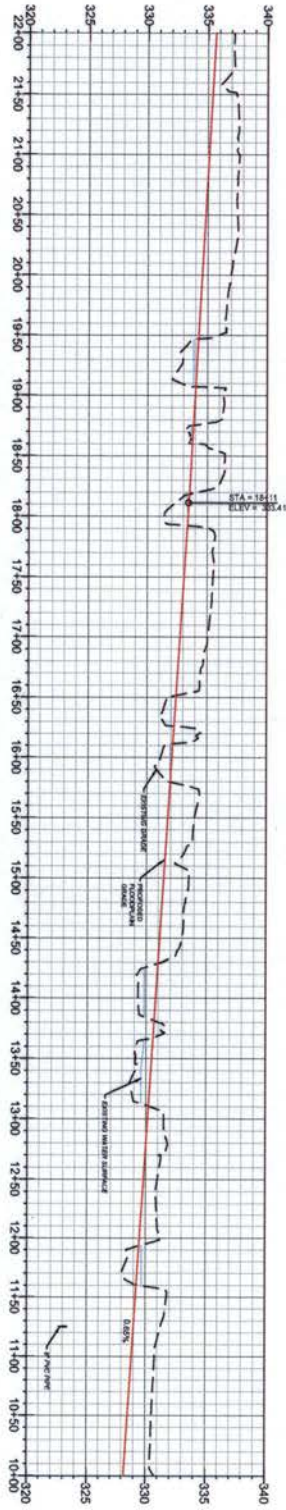
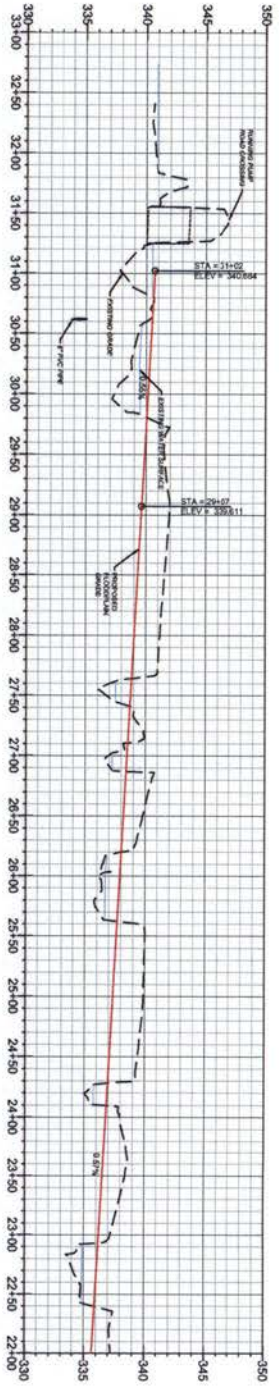
8
OF 15

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

SHEET TITLE:
EXISTING THALWEG PROFILE
BRUBAKER RUN FLOODPLAIN RESTORATION
PLAN SET
 EAST HEMPFIELD TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION
 OAK TREE DEVELOPMENT GROUP
 240 ANNETTA AVE
 LANCASTER, PA 17601

Land Studies
 717-627-4440
 fax: 717-627-4660
 lendstudies.com
 land@landstudies.com
 315 North Street | Lititz, PA 17543



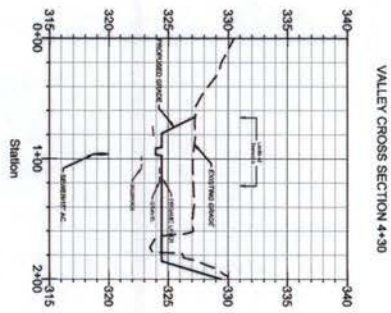
9
OF 15

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	06/23/15	JG	MS
2	REVISED FOR COMMENTS	07/01/15	JG	MS
3	REVISED FOR COMMENTS	07/01/15	JG	MS
4	REVISED FOR COMMENTS	07/01/15	JG	MS
5	REVISED FOR COMMENTS	07/01/15	JG	MS
6	REVISED FOR COMMENTS	07/01/15	JG	MS
7	REVISED FOR COMMENTS	07/01/15	JG	MS
8	REVISED FOR COMMENTS	07/01/15	JG	MS
9	REVISED FOR COMMENTS	07/01/15	JG	MS
10	REVISED FOR COMMENTS	07/01/15	JG	MS

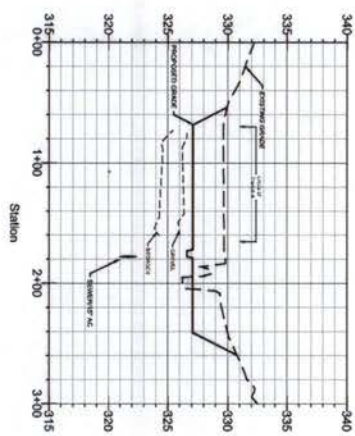
SHEET TITLE:
VALLEY PROFILE
BRUBAKER RUN FLOODPLAIN RESTORATION
PLAN SET
 EAST HOSPITEL TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION
 OAK TREE DEVELOPMENT GROUP
 745 MARKET AVE.
 LANCASTER, PA 17601

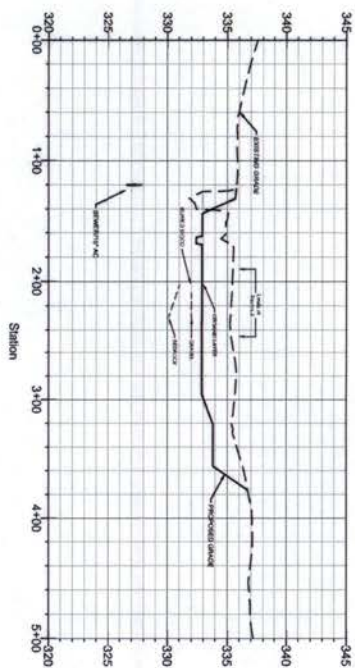
717-627-4440
 fax: 717-627-4660
 landstudies.com
 land@landstudies.com
Land Studies
 315 North Street | Litiz, PA 17543



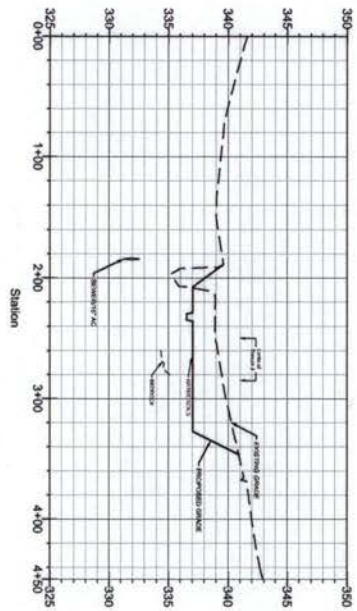
VALLEY CROSS SECTION 4+30



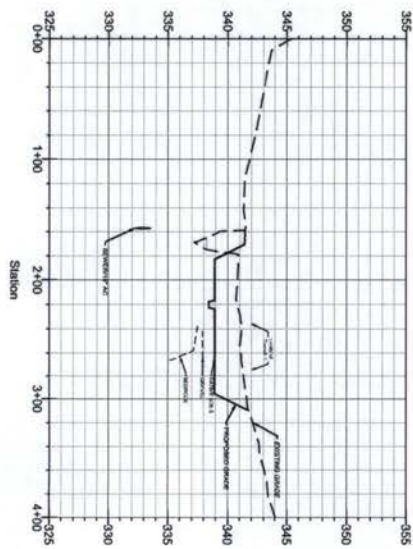
VALLEY CROSS SECTION 8+30



VALLEY CROSS SECTION 17+30



VALLEY CROSS SECTION 24+40



VALLEY CROSS SECTION 27+80



PROJECT NUMBER	047923.02
PROJECT NAME	BRUBAKER RUN FLOODPLAIN RESTORATION
CLIENT	LANCASTER COUNTY
DATE	08/20/15
DESIGNER	LAND STUDIES
CHECKED BY	BRUNNEN
DATE	08/20/15
PROJECT LOCATION	EAST HEMPFIELD TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
SCALE	AS SHOWN
DATE	08/20/15
PROJECT NUMBER	047923.02
PROJECT NAME	BRUBAKER RUN FLOODPLAIN RESTORATION
CLIENT	LANCASTER COUNTY
DATE	08/20/15
DESIGNER	LAND STUDIES
CHECKED BY	BRUNNEN
DATE	08/20/15
PROJECT LOCATION	EAST HEMPFIELD TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
SCALE	AS SHOWN
DATE	08/20/15

11 OF 15

SHEET TITLE:
CROSS SECTIONS
BRUBAKER RUN FLOODPLAIN RESTORATION
PLAN SET
 EAST HEMPFIELD TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION
 OAK TREE DEVELOPMENT GROUP
 3450 MARIETTA AVE.
 LANCASTER, PA 17601

717-627-4440
 fax: 717-627-4660
 landstudies.com
 land@landstudies.com
 315 North Street | Lititz, PA 17543

PA 03/2015

EROSION AND SEDIMENT CONTROL PLAN NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEANING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REGISTERED PROFESSIONAL ENGINEER) SHALL BE ON THE PROJECT SITE AT ALL TIMES. THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT AVAILABLE FOR REVIEW AND APPROVAL AT ALL TIMES.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEANING AND GRUBBING, OPERALS, A REPRESENTATIVE FROM LOCAL, THE E&S PLAN PREPARED AND A REPRESENTATIVE FROM PAPEER TO AN ON-SITE REPRESENTATIVE MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OPERALS SHALL BE ADVISED BY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THIS SEQUENCE MUST BE APPROVED BY WRITING BY THE DEPARTMENT PRIOR TO ANY EARTH DISTURBANCE ACTIVITIES.
- ROCKS TO BE FIELD ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, AND OTHER OBJECTIVE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF CONSTRUCTION IN ANY STAGE OF THE PROJECT UNTIL THE E&S BARS SPECIFIED BY THE E&S PLAN ARE IN PLACE. AT NO TIME SHALL CONSTRUCTION ACTIVITIES BE ALLOWED TO EXCEED THE LIMIT OF DISTURBANCE PAVING LOT.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION SHOWN ON THE PLAN DRAWINGS IN THE MANNER NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 30 FEET. STOCKPILE SLOPES SHALL BE 2:1 V:1 H:1 FLATTER.
- STREAM AND FLOODPLAIN GRADING AND STABILIZATION SHALL BE COMPLETED IN PORTIONS ACCORDING TO A DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 48 HOURS UNLESS OTHERWISE SPECIFIED, IN WHICH CASE DISTURBED AREAS SHALL BE STABILIZED BY THE END OF THE WORK DAY.
10. STREAM AND FLOODPLAIN EXCAVATION SHALL BE SEQUENCED IN A MANNER THAT WORK WILL BE COMPLETED IN DIMENSIONS SHALL BE INTRODUCED INTO NEWLY CONSTRUCTED CHANNELS DOWNY, AND IN STREAM WORK SHALL OCCUR ONLY DURING LOW FLOW CONDITIONS.
11. EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED WITHIN THE PROPOSED LIMIT OF DISTURBANCE AND LOCAL ON SITE AND STABILIZED WITH SEED AND MULCH WITH 5% FERTILE OR FLITER SOCK ON THE DOWNDROPE SIDE.
12. TOPSOIL SHALL NOT BE EXCAVATED FROM AREAS BEYOND THE LIMIT OF EACH DAY'S DISTURBANCE ZONE.
13. STOCKPILE AREAS, A 4" THICK LAYER OF TOPSOIL SHALL BE SPREAD THROUGHOUT THE PROPOSED FLOODPLAIN AREA TO ACHIEVE FINAL GRADE. UNLESS OTHERWISE SPECIFIED, THE EXISTING SOIL AT THE PROPOSED LOCATION, IF IT IS DETERMINED BY THE DESIGN ENGINEER THAT THE EXISTING SOIL AT THE PROPOSED LOCATION IS AN ACCEPTABLE GRADING MATERIAL, THEN THE APPLICATION OF TOPSOIL MAY NOT BE NECESSARY.
14. ANY FILL MATERIAL IS TRANSPORTED OFF SITE, THE DESTINATION FILL AREA MUST HAVE AN APPROVED E&S PLAN.
15. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE VIA THE ACCESS POINTS DESIGNATED ON THE PLAN. TRAFFIC MUST BE MAINTAINED CLEAN UP NOT WASHED OFF WITH WATER AND ROCK CONSTRUCTION ENTRANCE MUST BE INSTALLED TO AVOID FURTHER SEGMENTATION FROM THE CONSTRUCTION SITE.
16. IMMEDIATELY UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE POTENTIAL FOR ACCEPTED BEST PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE CENTRAL OFFICE OF THE DEPARTMENT.
17. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN AN APPROVED MANNER. ALL BUILDING MATERIALS OR WASTES ON UNPAVED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
18. ALL OFF-SITE WASTE AND BROWN AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DEPARTMENT MUST BE MAINTAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A CLEAN FILL, FROM A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
19. THE CONSTRUCTION IS RESPONSIBLE FOR ENSURING THAT ANY FILL MATERIAL AFFECTED BY A CLEAN FILL, FROM A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING, IS MAINTAINED AND DEPLOYMENT MAY REQUIRE THE INSTALLATION OF A TEMPORARY COVER DAM, PUMPING OF CLEAN WATER (SUCH AS FROM UNPAVED TRIBUTARY TO BRUBAKER RUN) MAY BE DISCHARGED DIRECTLY TO OTHER CLEAN WATER DISCHARGE AREAS (SUCH AS A POINT SOURCE OR OTHER DISCHARGE). PUMPING OF TURBID WATER MUST BE PUMPED THROUGH A PUMPED WATER FILTER BAG THAT IS DEPLOYED ON A WELL VEGETATED AREA IN ACCORDANCE WITH DETAIL E-777 OR USED THROUGH SPRAY REMEDIATION EQUIPMENT TO WATER SEEDED AREAS PROTECTED WITH WATER BARRIERS THAT ENTER THE WATERWAY.
20. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BARS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BARS AFTER EACH RAINFALL EVENT AND ON A REGULAR SCHEDULE. REPAIRING, REPLACING, AND RESETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BARS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BARS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
21. EROSION AND SEDIMENT BARS SHALL BE MAINTAINED AS WELL AS ANY DEBRIS FOUND AND THE DATE OF INSPECTION SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.
22. SEDIMENT TRACKS ON ANY PUBLIC HIGHWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE AS SOON AS PRACTICABLE. SEDIMENT TRACKS ON PRIVATE PROPERTY SHALL BE RETURNED TO THE PROPERTY OWNER. THE SEDIMENT BE WASHED, RINSED, OR SWEEP INTO AN APPROVED DITCH, STORM SEWER, OR SURFACE WATER COURSE. SEDIMENT TRACKS ON PRIVATE PROPERTY SHALL BE RETURNED TO THE PROPERTY OWNER.
23. ALL SEDIMENT REMOVED FROM BARS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
24. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCAPED TO A MINIMUM DEPTH OF 3 TO 3 INCHES - 4 TO 12 INCHES DEEP, DEPENDING ON THE TYPE OF SOIL. TOPSOIL SHALL BE APPLIED TO A MINIMUM OF 2 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. ALL SLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED UNLESS OTHERWISE STATED. THE SIZE, LOCATION AND ORIENTATION OF WETLAND POCKETS AND STREAM STRUCTURES ARE APPROXIMATE AND FINAL LOCATION ORIENTATION WILL BE DETERMINED BY THE REGISTERED PROFESSIONAL ENGINEER. STREAM STRUCTURES SUCH AS LOG SILLS AND ROOT WADERS WILL BE LIMITED BY THE AVAILABILITY OF MATERIAL ON THE PROJECT SITE. CRITICAL STRUCTURES ARE NOT TO BE RELOCATED OR REMOVED. THE EXISTING STREAM CHANNEL WITHIN THE PROJECT AREA IS TO BE MAINTAINED AND SUBMITTED TO L&M PRIOR TO GAINING ACCESS TO THE SITE WITH EARTHMOVED EQUIPMENT.
- INSTALL FILTER SOCKS/TRENCH AS NECESSARY. FILTER SOCKS/TRENCH MUST BE INSTALLED DOWNWELD OF ANY DISTURBED AREAS AT THE FILL LOCATIONS. STRIP MULCH AND TOPSOIL SHALL BE STOCKPILED FOR REDISTRIBUTION ON THE FILL AREAS.
- PROJECT DESIGNER MUST PLACE STABILIZATION MATS TO BE LEFT FOR LINE STAKE MATERIAL AND/OR TRANSPORTING TO THE PROPOSED FLOODPLAIN AS WELL AS TREES SURVIVE AND/OR REMOVED. GRASSING MAY OCCUR ONCE CLEARING AND GRUBBING HAS COMPLETED. STABILIZATION MATS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THESE MATS WILL BE RELOCATED ONCE THE FINAL OPERATIONAL LOCATION HAS BEEN DETERMINED BY THE PROJECT DESIGNER.
- DESIGNER, THESE TREES ARE TO BE PLACED ON AND COVERED BY THE DESIGNER ATTACHED. THE REMOVAL OF THE TRUNK (1" DIAMETER MINIMUM) WILL BE LABELED AND REMAIN FULL LENGTH FOR USE AS LOG SILLS.
- MATERIAL NOT REFINED THE PREVIOUS CATEGORIES IS TO BE UTILIZED AS ADDITIONAL MULCH. ANY REMAINING MATERIAL IS TO BE DISPOSED OF PROPERLY.
- THE FOLLOWING MAINTENANCE OF FLOW PROCEDURES MUST BE ESTABLISHED WHEN IN CHANNEL WORK IS ANTICIPATED.
 - SANDWAD EXISTING CHANNEL (IF NECESSARY) AND SET UP PUMP AROUND SYSTEM WITH PUMP AND ENERGY DISSIPATER. WHEN DISCHARGING CLEAN WATER TO CLEAN WATER, IT PROCEEDS OF THE CHANNEL CONNECTION BETWEEN THE PROPOSED AND EXISTING CHANNELS AT THE END OF THE WORK DAY. LOCAL OBSTACLES MUST BE FOLLOWED AND VARIANCES SOUGHT IF NECESSARY.
 - LOCALLY DRYING EXISTING STREAM CHANNEL (FROM UPSTREAM TO DOWNSTREAM) AND CHANNEL WITHIN 48 HOURS OR BY THE END OF THE WORK DAY IF FLOW IS IN CHANNEL. A VA ENERGY DISSIPATER, DIRT WATER MAY BE PUMPED THROUGH A PUMPED WATER FILTER BAG DEPLOYED ON A STABLE GRASSSED AREA.
 - THE FOLLOWING SEQUENCE MAY BE REPEATED AT ALL THE SECTIONS WITHIN THE CHANNEL: SET UP PUMP AROUND SYSTEM TO MAINTAIN FLOW AND/OR ENERGY DISSIPATER. WHEN DISCHARGING CLEAN WATER TO CLEAN WATER, IT PROCEEDS OF THE CHANNEL CONNECTION BETWEEN THE PROPOSED AND EXISTING CHANNELS AT THE END OF THE WORK DAY. LOCAL OBSTACLES MUST BE FOLLOWED AND VARIANCES SOUGHT IF NECESSARY.
 - THE PROPOSED FLOODPLAIN MUST BE STABILIZED WITH SEED AND MULCH WITHIN 48 HOURS OR BY THE END OF THE WORK DAY IF FLOW IS IN CHANNEL. A VA ENERGY DISSIPATER, DIRT WATER MAY BE PUMPED THROUGH A PUMPED WATER FILTER BAG DEPLOYED ON A STABLE GRASSSED AREA.
 - THE PROPOSED FLOODPLAIN MUST BE STABILIZED WITH SEED AND MULCH WITHIN 48 HOURS OR BY THE END OF THE WORK DAY IF FLOW IS IN CHANNEL. A VA ENERGY DISSIPATER, DIRT WATER MAY BE PUMPED THROUGH A PUMPED WATER FILTER BAG DEPLOYED ON A STABLE GRASSSED AREA.
- CONSTRUCT FLOODPLAIN TO BE SEEDED AND STABILIZED WITH EROSION CONTROL MATS WITHIN 48 HOURS OR BY THE END OF THE WORK DAY IF FLOW IS IN CHANNEL.
- PUMP AROUND CAN BE DISCONTINUED OVERNIGHT IF THE EXISTING CHANNEL IS CONNECTED TO THE CONSTRUCTED CHANNEL. TO MAINTAIN FLOW OVERNIGHT, THE TEMPORARY STREAM CROSSINGS, THESE TEMPORARY CHANNELS MUST BE STABILIZED IN THE SAME MANNER AS THE PROPOSED STREAM CHANNEL.
- PUMP AROUND SETUPS SHOWN ON THE E&S PLAN INDICATE THE BYPASS OF FLOODPLAIN WORK BETWEEN TEMPORARY STREAM CROSSINGS. THE PUMP AROUND WHEN TEMPORARY STREAM CROSSINGS ARE TO BE REMOVED, THE REMAINING FLOODPLAIN AND PROPOSED CHANNEL WILL BE CONSTRUCTED WHILE ENSURING PROPER PUMP AROUND PROCEDURES ARE EMPLOYED.
- CONTINUE CONSTRUCTION OF LOG SILL AND ROOT WADERS TO UPSTREAM FROM DOWNSTREAM. LOG SILL AND ROOT WADERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THESE MATS WILL BE RELOCATED ONCE THE FINAL OPERATIONAL LOCATION HAS BEEN DETERMINED BY THE PROJECT DESIGNER.
- PLANT LOGS, SHRUBS AND TREES ACCORDING TO THE LANDSCAPING PLAN ON SHEET 15.
- LINE AND/OR BERTHMENT MUST NOT BE APPLIED IN THE FLOODPLAIN BOTTOM LOCATIONS UNTIL THE FLOODPLAIN IS STABILIZED WITH SEED AND MULCH WITHIN 48 HOURS OR BY THE END OF THE WORK DAY. TRANSPORTING MATS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THESE MATS WILL BE RELOCATED ONCE THE FINAL OPERATIONAL LOCATION HAS BEEN DETERMINED BY THE PROJECT DESIGNER.
- REMOVE TEMPORARY EROSION CONTROL BARS AFTER 70% VEGETATIVE COVER IS ACHIEVED.

NOTES:

- TEMPORARY STABILIZATION SEEDS MAY BE USED ON ALL DISTURBED AREAS INCLUDING THOSE AREAS THAT WILL BE PLANTED OTHERWISE AS INDICATED ON THE PLANNING PLAN.
- USE APPROPRIATE SPECIES FOR TEMPORARY SITE STABILIZATION BASED ON SEEDING WINDOW.
- SEEDS SEEDS MAY BE USED IN PLACE OF THE PROPOSED TEMPORARY STABILIZATION SEEDS IF APPROVED BY THE ENGINEER OR CONSTRUCTION MANAGER.
- MATS MUST BE APPLIED AT A RATE OF 3 TONS PER ACRE TO ALL SEEDED AND DISTURBED AREAS THAT ARE NOT COVERED WITH EROSION CONTROL BLANKET. MULCH MUST BE APPLIED AT A RATE OF 3 TONS PER ACRE TO ALL SEEDED AREAS.
- PROPOSED SEEDS ARE ALSO PERMITTED AS AN ALTERNATIVE STABILIZATION METHOD AS DETERMINED BY THE ENGINEER OR CONSTRUCTION MANAGER BASED ON SITE CONDITIONS DURING CONSTRUCTION.
- SEEDING WINDOW FOR SEEDS IS TO BE APPLIED AT A RATE OF 22 POUNDS PER ACRE PER 15 AND SEPTEMBER 1 TO OCTOBER 15. MATS MUST BE APPLIED TO ALL AREAS TO BE SEEDED. THE TARGET SEEDING WINDOW WILL BE APPLIED AT A RATE OF 21 POUNDS TO ACCOUNT FOR POSSIBLE LOSS OF SEED OVER NON-GERMINATING PERIODS.

Vegetative Stabilization Seed Rate	Seeds per 1,000 sq. ft.	Seeds per 1,000 sq. ft.	Seeds per 1,000 sq. ft.
100%	140.3	1,240.0	140.3
75%	105.2	930.0	105.2
50%	70.1	620.0	70.1
25%	35.1	310.0	35.1

APPROXIMATE SEEDING WINDOW

Month	Seed Rate	Seeds per 1,000 sq. ft.	Seeds per 1,000 sq. ft.
April	140.3	1,240.0	140.3
May	105.2	930.0	105.2
June	70.1	620.0	70.1
July	35.1	310.0	35.1



PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 3 BUSINESS DAYS BEFORE YOU DIG!
 800-442-7776 OR 8-1-1
 POOL SERVICE
 DATE: 2/17/2016

E&S NOTES
BRUBAKER RUN FLOODPLAIN RESTORATION
 PLAN SET

EAST HEMPFIELD TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

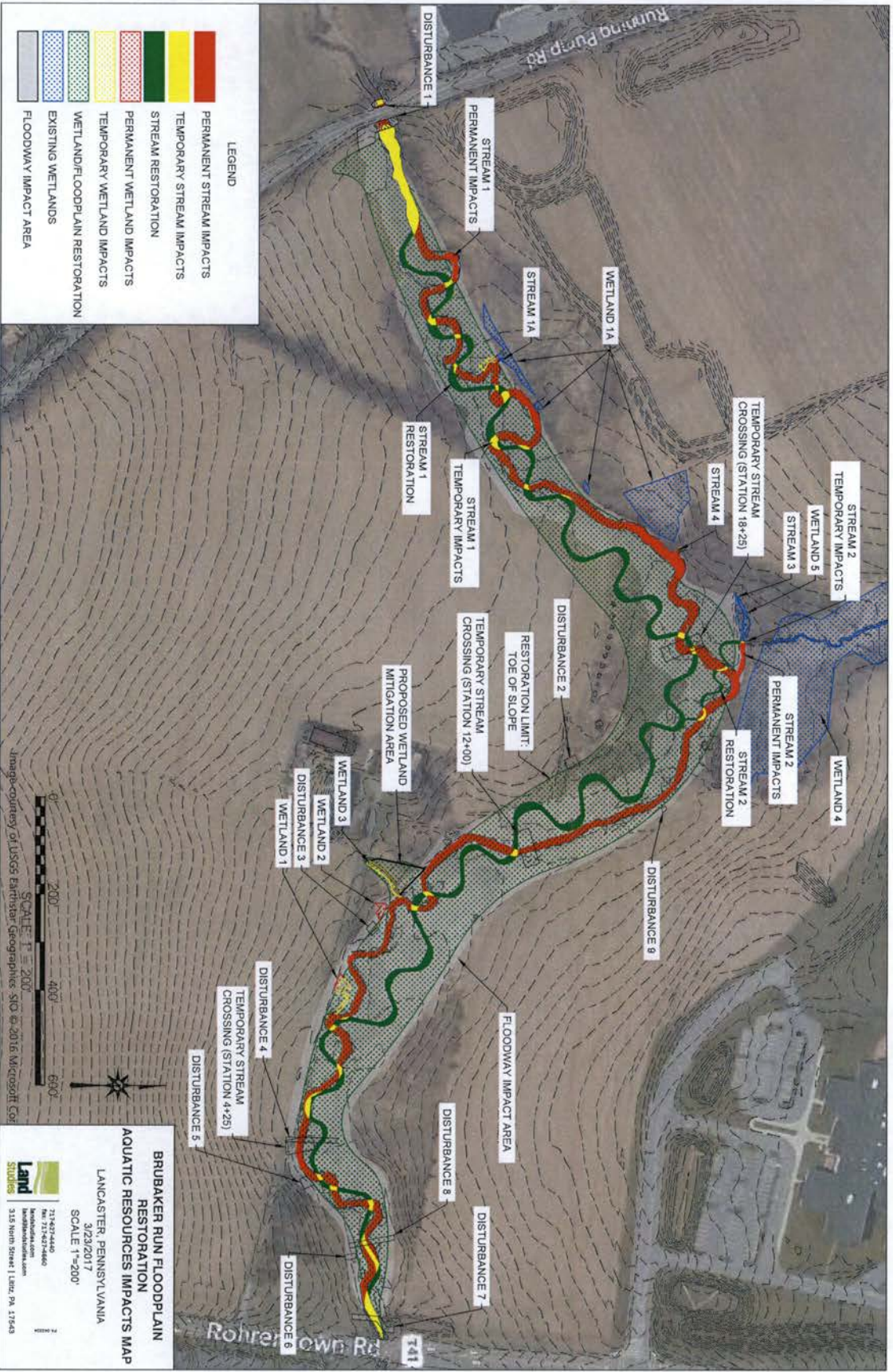
PROJECT:
 BRUBAKER RUN FLOODPLAIN RESTORATION

LANDSCAPING DESIGN GROUP
 300 MARKETT AVE.
 LANCASTER, PA 17601

717-627-4440
 fax: 717-627-4660

landstudies.com
 land@landstudies.com

315 North Street | Lititz, PA 17543



LEGEND

- PERMANENT STREAM IMPACTS
- TEMPORARY STREAM IMPACTS
- STREAM RESTORATION
- PERMANENT WETLAND IMPACTS
- TEMPORARY WETLAND IMPACTS
- WETLAND/FLOODPLAIN RESTORATION
- EXISTING WETLANDS
- FLOODWAY IMPACT AREA

BRUBAKER RUN FLOODPLAIN RESTORATION AQUALTIC RESOURCES IMPACTS MAP

LANCASTER, PENNSYLVANIA
 3/23/2017
 SCALE 1"=200'

717-927-6240
 717-927-6240
 landstudies.com
 315 North Street | Lititz, PA 17543

CHAPTER 105 GENERAL PERMIT 04 & 05 PLAN FOR LIME SPRING SQUARE CONSTRUCTION DISTRICT

CHAPTER 95 GENERAL ACTIVITY
CONSTRUCTION DISTRICT

SECTION 105-1.01 - CONSTRUCTION DISTRICT (CD) PERMIT

The purpose of this chapter is to establish a system of permits for construction activities within the City of Lancaster. The City Council has determined that certain construction activities are of such a nature that they can be regulated by a general permit rather than by a special permit. The activities listed in this chapter are those which are considered to be of a routine nature and which do not require the review of a special permit. The City Council has determined that these activities can be regulated by a general permit which will provide for the protection of the public health, safety and general welfare of the City of Lancaster.

STABILIZATION INSPECTIONS

1. The contractor shall submit a written report to the City Engineer within ten (10) days of the completion of the stabilization work. The report shall include a description of the work performed, the materials used, and the results of the stabilization process.
2. The contractor shall maintain a log of all stabilization work performed, including the date, time, and location of each activity.
3. The contractor shall be responsible for the cost of all stabilization work performed.
4. The contractor shall be responsible for the cost of all materials used in the stabilization process.
5. The contractor shall be responsible for the cost of all labor used in the stabilization process.
6. The contractor shall be responsible for the cost of all equipment used in the stabilization process.
7. The contractor shall be responsible for the cost of all transportation used in the stabilization process.
8. The contractor shall be responsible for the cost of all other expenses incurred in the stabilization process.

EROSION AND SEDIMENT CONTROL

1. The contractor shall submit a written report to the City Engineer within ten (10) days of the completion of the erosion and sediment control work. The report shall include a description of the work performed, the materials used, and the results of the erosion and sediment control process.
2. The contractor shall maintain a log of all erosion and sediment control work performed, including the date, time, and location of each activity.
3. The contractor shall be responsible for the cost of all erosion and sediment control work performed.
4. The contractor shall be responsible for the cost of all materials used in the erosion and sediment control process.
5. The contractor shall be responsible for the cost of all labor used in the erosion and sediment control process.
6. The contractor shall be responsible for the cost of all equipment used in the erosion and sediment control process.
7. The contractor shall be responsible for the cost of all transportation used in the erosion and sediment control process.
8. The contractor shall be responsible for the cost of all other expenses incurred in the erosion and sediment control process.

GENERAL NOTES

1. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
2. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
3. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
4. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
5. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
6. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
7. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
8. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.

SECTION 105-1.02 - CONSTRUCTION DISTRICT (CD) PERMIT

The purpose of this chapter is to establish a system of permits for construction activities within the City of Lancaster. The City Council has determined that certain construction activities are of such a nature that they can be regulated by a general permit rather than by a special permit. The activities listed in this chapter are those which are considered to be of a routine nature and which do not require the review of a special permit. The City Council has determined that these activities can be regulated by a general permit which will provide for the protection of the public health, safety and general welfare of the City of Lancaster.

STABILIZATION INSPECTIONS

1. The contractor shall submit a written report to the City Engineer within ten (10) days of the completion of the stabilization work. The report shall include a description of the work performed, the materials used, and the results of the stabilization process.
2. The contractor shall maintain a log of all stabilization work performed, including the date, time, and location of each activity.
3. The contractor shall be responsible for the cost of all stabilization work performed.
4. The contractor shall be responsible for the cost of all materials used in the stabilization process.
5. The contractor shall be responsible for the cost of all labor used in the stabilization process.
6. The contractor shall be responsible for the cost of all equipment used in the stabilization process.
7. The contractor shall be responsible for the cost of all transportation used in the stabilization process.
8. The contractor shall be responsible for the cost of all other expenses incurred in the stabilization process.

EROSION AND SEDIMENT CONTROL

1. The contractor shall submit a written report to the City Engineer within ten (10) days of the completion of the erosion and sediment control work. The report shall include a description of the work performed, the materials used, and the results of the erosion and sediment control process.
2. The contractor shall maintain a log of all erosion and sediment control work performed, including the date, time, and location of each activity.
3. The contractor shall be responsible for the cost of all erosion and sediment control work performed.
4. The contractor shall be responsible for the cost of all materials used in the erosion and sediment control process.
5. The contractor shall be responsible for the cost of all labor used in the erosion and sediment control process.
6. The contractor shall be responsible for the cost of all equipment used in the erosion and sediment control process.
7. The contractor shall be responsible for the cost of all transportation used in the erosion and sediment control process.
8. The contractor shall be responsible for the cost of all other expenses incurred in the erosion and sediment control process.

GENERAL NOTES

1. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
2. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
3. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
4. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
5. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
6. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.
7. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 105, General Activity Construction District.
8. All construction work shall be done in accordance with the City of Lancaster Code of Ordinances, Chapter 95, General Activity Construction District.



LOCATION MAP
SCALE 1" = 500'

PLANNING NOTES
DATE: 10/1/2010
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
SCALE: AS SHOWN

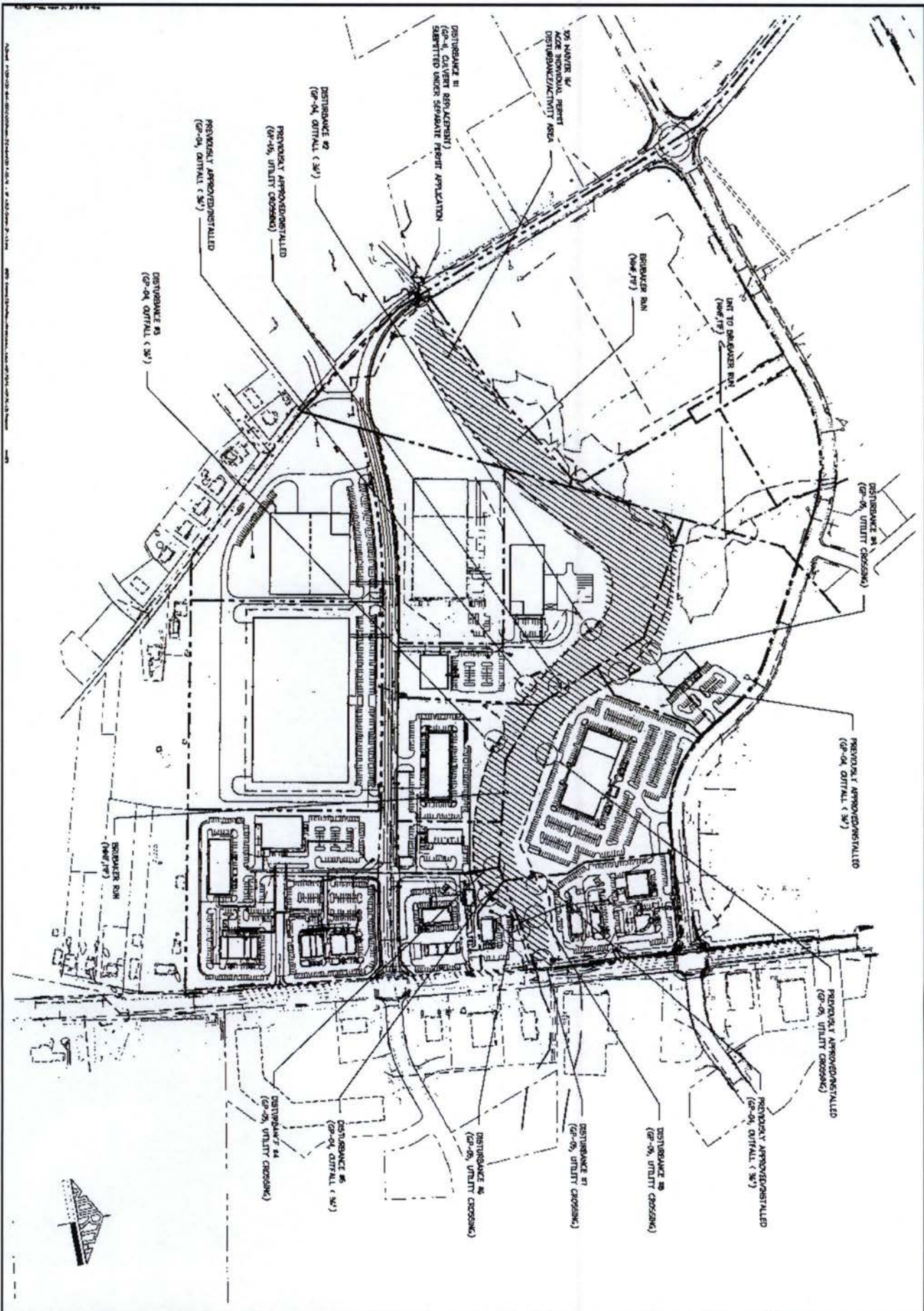
EROSION AND SEDIMENT CONTROL NOTES

1. The contractor shall submit a written report to the City Engineer within ten (10) days of the completion of the erosion and sediment control work. The report shall include a description of the work performed, the materials used, and the results of the erosion and sediment control process.
2. The contractor shall maintain a log of all erosion and sediment control work performed, including the date, time, and location of each activity.
3. The contractor shall be responsible for the cost of all erosion and sediment control work performed.
4. The contractor shall be responsible for the cost of all materials used in the erosion and sediment control process.
5. The contractor shall be responsible for the cost of all labor used in the erosion and sediment control process.
6. The contractor shall be responsible for the cost of all equipment used in the erosion and sediment control process.
7. The contractor shall be responsible for the cost of all transportation used in the erosion and sediment control process.
8. The contractor shall be responsible for the cost of all other expenses incurred in the erosion and sediment control process.

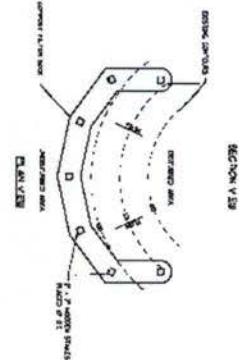
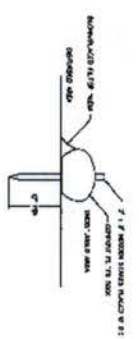
SECTION 105-1.03 - CONSTRUCTION DISTRICT (CD) PERMIT

The purpose of this chapter is to establish a system of permits for construction activities within the City of Lancaster. The City Council has determined that certain construction activities are of such a nature that they can be regulated by a general permit rather than by a special permit. The activities listed in this chapter are those which are considered to be of a routine nature and which do not require the review of a special permit. The City Council has determined that these activities can be regulated by a general permit which will provide for the protection of the public health, safety and general welfare of the City of Lancaster.

	<p style="text-align: center;">PROJECT TITLE LIME SPRING SQUARE GENERAL PERMITS 04 & 05 PLAN</p> <p style="text-align: center;">LOCATION 205 ROHRERSTOWN ROAD, LP 5455 MARIETTA AVENUE LANCASTER, PA 17602</p> <p style="text-align: center;">DATE 10/1/2010</p> <p style="text-align: center;">SCALE AS SHOWN</p>	<p style="text-align: center;">DESIGNER J. H. HARRIS</p> <p style="text-align: center;">CHECKED BY J. H. HARRIS</p> <p style="text-align: center;">DATE 10/1/2010</p>	<p style="text-align: center;">COVER SHEET</p>
--	--	--	---

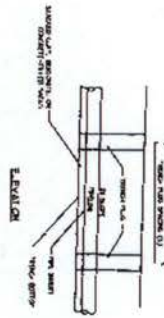
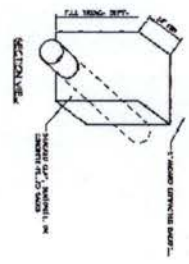


	LIME SPRING SQUARE GENERAL PERMITS D4 & D5 PLAN	2040 BIRCH CREEK ROAD, 1/F 2040 BIRCH CREEK ROAD LANCASTER, PA 17601	<table border="1"> <tr> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	DATE	DESCRIPTION						
	DATE	DESCRIPTION									
LIME PLAN 03 1 x 1/2" SCALE Civil Engineering	OVERALL LOCATION PLAN										



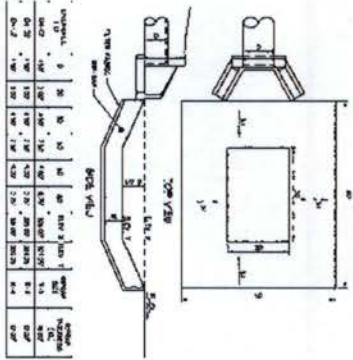
1 COPROFIT FILTER SOCK
NOT TO SCALE

NOTES:
1. THE COPROFIT FILTER SOCK IS MADE OF POLYPROPYLENE AND IS DESIGNED TO BE USED IN CONJUNCTION WITH THE STANDARD CONSTRUCTION BLADES.
2. THE COPROFIT FILTER SOCK IS DESIGNED TO BE USED IN CONJUNCTION WITH THE STANDARD CONSTRUCTION BLADES.
3. THE COPROFIT FILTER SOCK IS DESIGNED TO BE USED IN CONJUNCTION WITH THE STANDARD CONSTRUCTION BLADES.
4. THE COPROFIT FILTER SOCK IS DESIGNED TO BE USED IN CONJUNCTION WITH THE STANDARD CONSTRUCTION BLADES.
5. THE COPROFIT FILTER SOCK IS DESIGNED TO BE USED IN CONJUNCTION WITH THE STANDARD CONSTRUCTION BLADES.

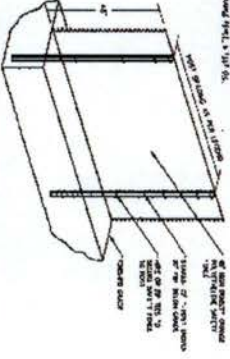


ITEM NO.	DESCRIPTION	QTY	UNIT
1	COPROFIT FILTER SOCK	1	EA
2	STANDARD CONSTRUCTION BLADE	1	EA
3	FLANGE FOOT	1	EA
4	STANDARD CONSTRUCTION BLADE	1	EA
5	STANDARD CONSTRUCTION BLADE	1	EA
6	STANDARD CONSTRUCTION BLADE	1	EA
7	STANDARD CONSTRUCTION BLADE	1	EA
8	STANDARD CONSTRUCTION BLADE	1	EA
9	STANDARD CONSTRUCTION BLADE	1	EA
10	STANDARD CONSTRUCTION BLADE	1	EA

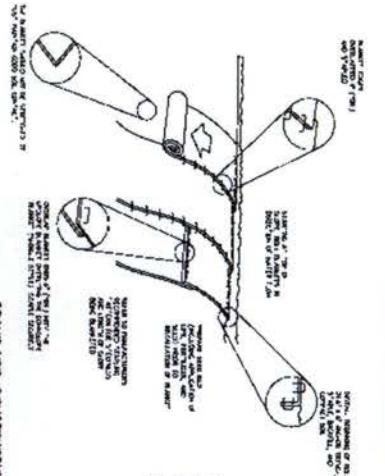
2 BENCH PILING INSTALLATION DETAIL
NOT TO SCALE



4 FLANGE FOOT
NOT TO SCALE



3 SENSITIVE AREA / TREE PROTECTION DETAIL
ORANGE CONSTRUCTION FENCING
NOT TO SCALE



1 STANDARD CONSTRUCTION BLADE INSTALLATION
NOT TO SCALE

NOTES:
1. THE STANDARD CONSTRUCTION BLADE IS MADE OF POLYPROPYLENE AND IS DESIGNED TO BE USED IN CONJUNCTION WITH THE COPROFIT FILTER SOCK.
2. THE STANDARD CONSTRUCTION BLADE IS DESIGNED TO BE USED IN CONJUNCTION WITH THE COPROFIT FILTER SOCK.
3. THE STANDARD CONSTRUCTION BLADE IS DESIGNED TO BE USED IN CONJUNCTION WITH THE COPROFIT FILTER SOCK.
4. THE STANDARD CONSTRUCTION BLADE IS DESIGNED TO BE USED IN CONJUNCTION WITH THE COPROFIT FILTER SOCK.
5. THE STANDARD CONSTRUCTION BLADE IS DESIGNED TO BE USED IN CONJUNCTION WITH THE COPROFIT FILTER SOCK.



6 STANDARD CONSTRUCTION BLADE
NOT TO SCALE



4 STANDARD CONSTRUCTION BLADE
NOT TO SCALE



8 STANDARD CONSTRUCTION BLADE
NOT TO SCALE

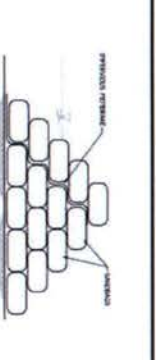
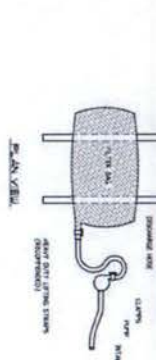
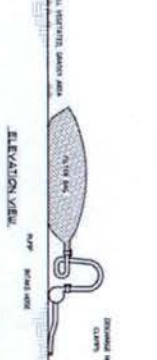
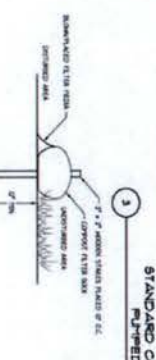
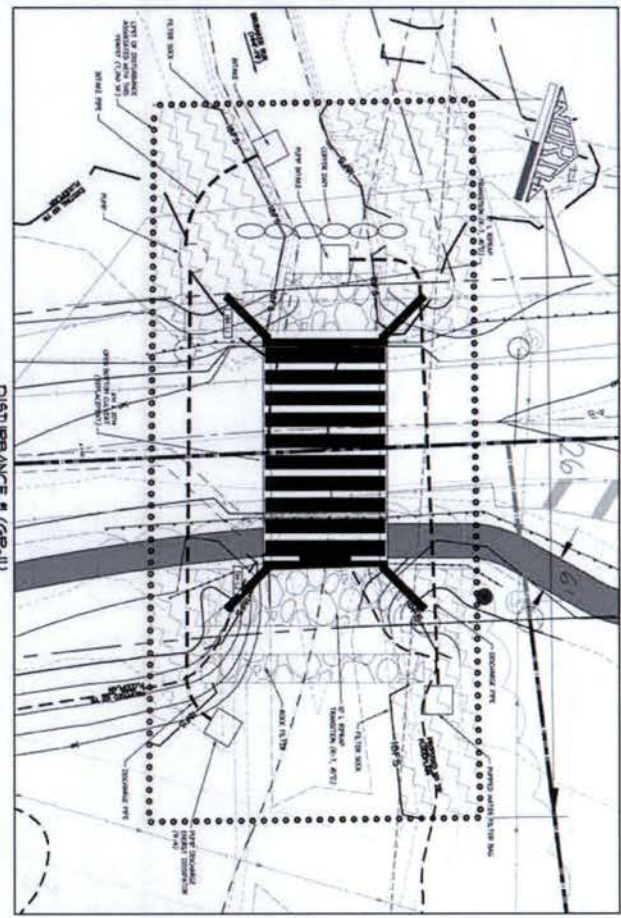
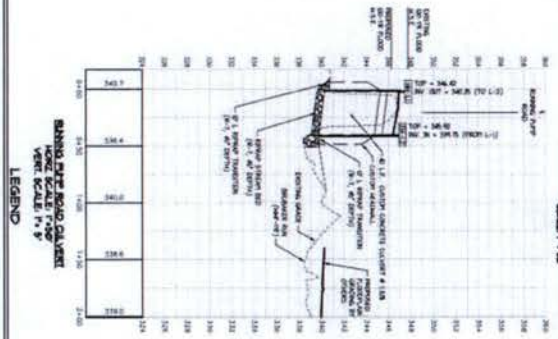


3 STANDARD CONSTRUCTION BLADE
NOT TO SCALE

Project: LIME SPRING SQUARE GENERAL PERMIT NO. 11 PLAN
 Date: 11/15/18
 Scale: AS SHOWN

LEGEND

DESIGN CONTROL MARKET
 MARKET ADJUSTMENT STREETS AREA
 1" FILTER BOSS
 1" FILTER BOSS (CONCRETE NOTED)



NOTES

1. SANDBAGS SHALL BE 100 LB. WEIGHT, 18" X 12" X 12" IN SIZE.
2. SANDBAGS SHALL BE MADE OF 100% POLYPROPYLENE OR 100% POLYESTER.
3. SANDBAGS SHALL BE FILLED WITH CLEAN SAND.
4. SANDBAGS SHALL BE PLACED IN A SINGLE ROW.
5. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.
6. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.
7. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.
8. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.
9. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.
10. SANDBAGS SHALL BE PLACED ON A 4" THICK CONCRETE SLAB.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	11/15/18	XXX
2	REVISION	11/15/18	XXX
3	REVISION	11/15/18	XXX
4	REVISION	11/15/18	XXX
5	REVISION	11/15/18	XXX

REVISIONS

NO. DESCRIPTION DATE BY

REVISIONS

NO. DESCRIPTION DATE BY

REVISIONS

NO. DESCRIPTION DATE BY

REVISIONS

NO. DESCRIPTION DATE BY

REVISIONS

NO. DESCRIPTION DATE BY

REVISIONS

NO. DESCRIPTION DATE BY

RGS ASSOCIATES

Land Planning
 Landscape Architecture
 Civil Engineering

1111 Market Street, Suite 200
 Lancaster, PA 17602
 (717) 391-1111
 www.rgsassoc.com

PROJECT TITLE

LIME SPRING SQUARE
 GENERAL PERMIT
 NO. 11 PLAN

EAST HEMPHIELD TOWNSHIP LANCASTER COUNTY, PA

CLIENT

206 ROHRERSTOWN ROAD, LP
 2450 MARIETTA AVENUE
 LANCASTER, PA 17601

(717) 568-8172

DESIGNER

CHRIS VENARICHUK

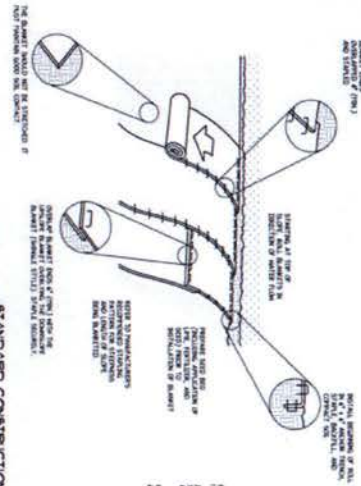
DRAWN BY LFB
CHECKED BY LFB

DATE 11/15/18

SCALE

AS SHOWN

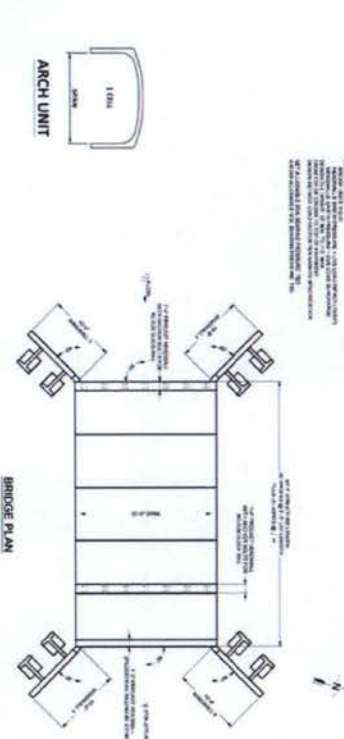
DATE 11/15/18



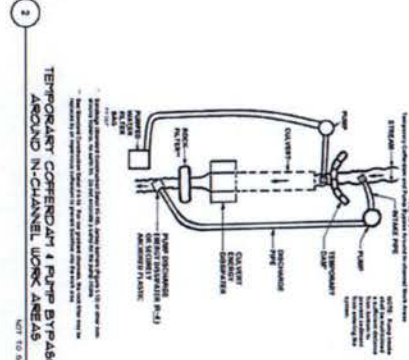
1 STANDARD CONSTRUCTION DETAIL #1-1
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE

DIMENSIONS		FINISHES	
BLANKET WIDTH	48" (4' 0")	BLANKET	NO FINISH
BLANKET LENGTH	100' (9' 0")	GEOTEXTILE	NO FINISH
BLANKET WEIGHT	1.5 LB/SQ YD	MULCH	NO FINISH
BLANKET TYPE	NO. 1	CONCRETE	NO FINISH
BLANKET COLOR	GREEN	PAVEMENT	NO FINISH
BLANKET BRAND	EMULSION	ASPHALT	NO FINISH
BLANKET MANUFACTURER	EMULSION	GRAVEL	NO FINISH
BLANKET SPECIFICATION	EMULSION	SAND	NO FINISH
BLANKET INSTALLATION	EMULSION	GRAVEL	NO FINISH
BLANKET REMOVAL	EMULSION	GRAVEL	NO FINISH
BLANKET STORAGE	EMULSION	GRAVEL	NO FINISH
BLANKET DISPOSAL	EMULSION	GRAVEL	NO FINISH

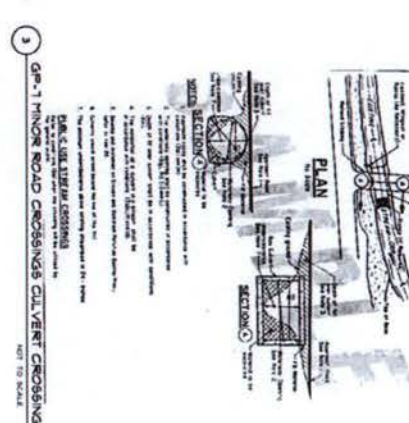
4 CULVERT DATA SUMMARY
NOT TO SCALE



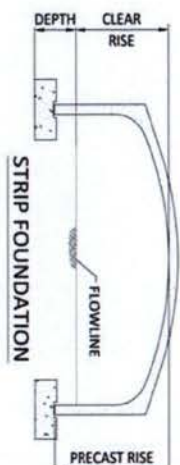
3 BRIDGE LAYOUT DETAILS
NOT TO SCALE



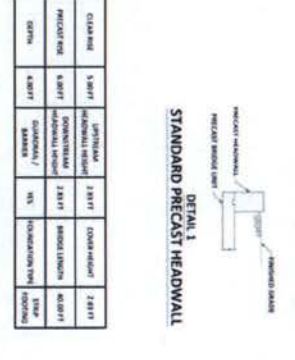
2 TEMPORARY COFFERDAM & PUMP BYPASS
AROUND IN-CHANNEL WORK AREAS
NOT TO SCALE



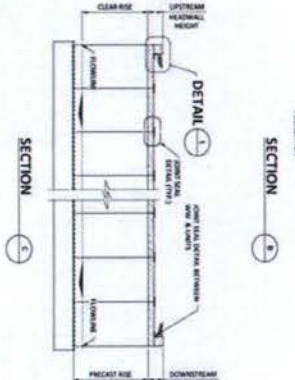
3 MINOR ROAD CROSSINGS CULVERT CROSSINGS
NOT TO SCALE



4 STRIP FOUNDATION
NOT TO SCALE



5 STANDARD PRECAST HEADWALL
DETAIL 1
NOT TO SCALE



6 STRIP FOUNDATION DETAILS
SECTION
NOT TO SCALE

PROJECT TITLE
LIME SPRING SQUARE
GENERAL PERMIT
NO. 11 PLAN

CLIENT
206 ROHRERSTOWN ROAD, LP
2450 MARIETTA AVENUE
LANCASTER, PA 17601
(717) 999-8172

OWNER
CHRIS VEMARCHOK

DESIGNED BY
BAR (LFB)

DRAWN BY
CLP (LFB)

SCALE
AS SHOWN

PROJECT NO.
2024-001

DATE
10/20/2024

REVISIONS

NO.	DATE	DESCRIPTION
1	10/20/2024	ISSUED FOR PERMIT
2	10/20/2024	ISSUED FOR PERMIT
3	10/20/2024	ISSUED FOR PERMIT
4	10/20/2024	ISSUED FOR PERMIT
5	10/20/2024	ISSUED FOR PERMIT

PROJECT NO.
2024-001

DATE
10/20/2024

REVISIONS

PROJECT TITLE
LIME SPRING SQUARE
GENERAL PERMIT
NO. 11 PLAN

CLIENT
206 ROHRERSTOWN ROAD, LP
2450 MARIETTA AVENUE
LANCASTER, PA 17601
(717) 999-8172

OWNER
CHRIS VEMARCHOK

DESIGNED BY
BAR (LFB)

DRAWN BY
CLP (LFB)

SCALE
AS SHOWN

PROJECT NO.
2024-001

DATE
10/20/2024

REVISIONS

NO.	DATE	DESCRIPTION
1	10/20/2024	ISSUED FOR PERMIT
2	10/20/2024	ISSUED FOR PERMIT
3	10/20/2024	ISSUED FOR PERMIT
4	10/20/2024	ISSUED FOR PERMIT
5	10/20/2024	ISSUED FOR PERMIT

PROJECT NO.
2024-001

DATE
10/20/2024

REVISIONS

